

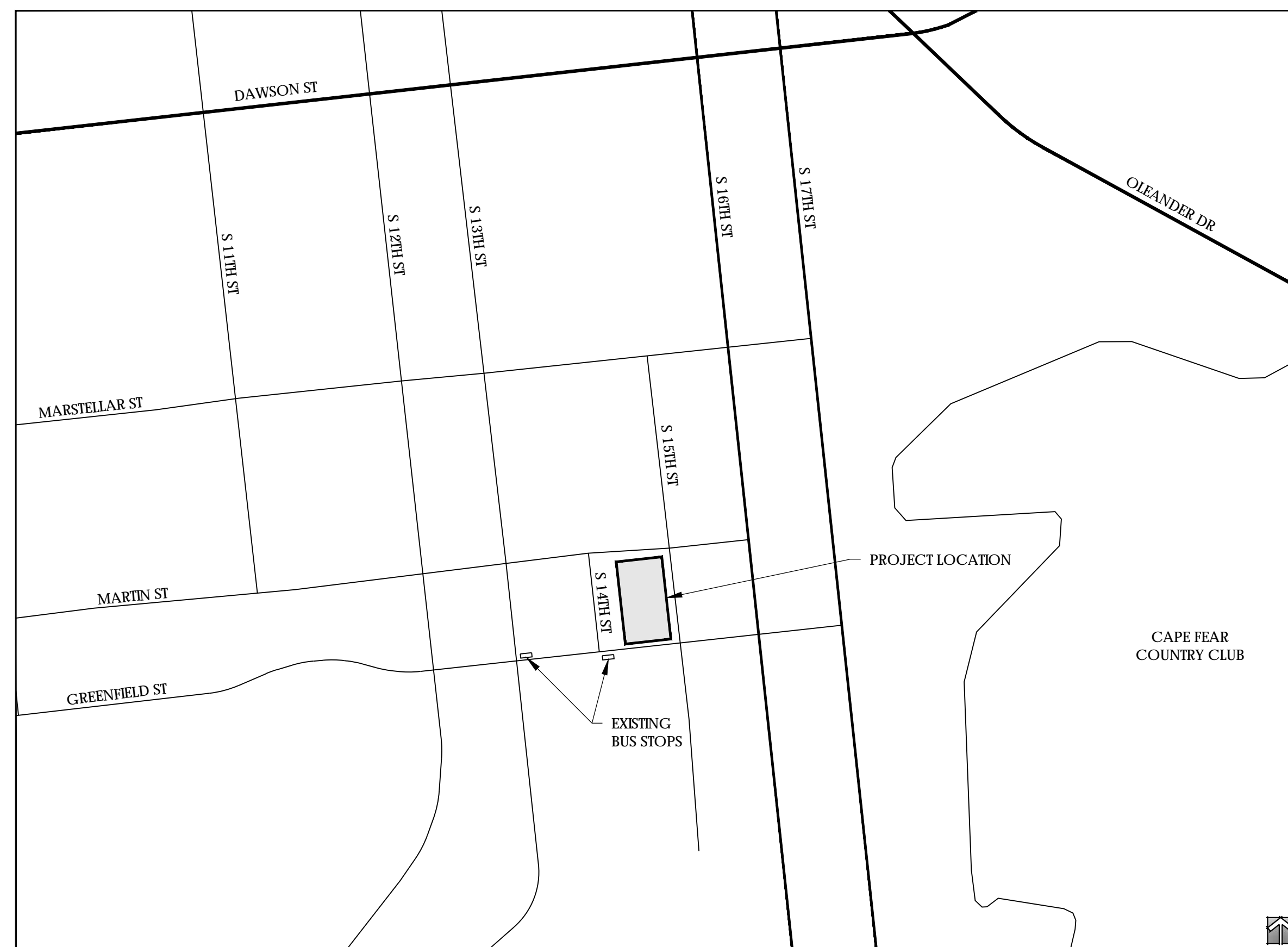
# NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD

1423 GREENFIELD STREET  
WILMINGTON | NORTH CAROLINA | 28401

## PERMIT SET FOR REVIEW ONLY

Submittal: NOVEMBER 2, 2022

**RECEIVED**  
By Jeff Walton at 2:31 pm, Nov 02, 2022

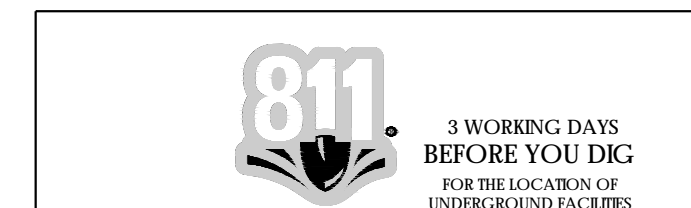


VICINITY MAP

SCALE: 1"=500'

Sheet List Table	
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G-003	PROJECT LEGEND & ABBREVIATIONS
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CS501	SITE DETAILS
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	DUKE LIGHTING PLAN
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A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS
A211	3D VIEWS

SHEETS THAT ARE CROSSED THROUGH IN THE ABOVE SHEET INDEX ARE NOT INCLUDED WITHIN THIS PERMIT SUBMITTAL.



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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHETHER THE OWNER OR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

PERMITS	
PERMIT	PERMIT NUMBER
NEW HANOVER COUNTY EROSION CONTROL	-
STATE SEWER PERMIT	-
STATE WATER PERMIT	-

PROJECT TEAM	
<b>OWNER/DEVELOPER</b> NOVANT HEALTH 3600 COUNTRY CLUB DR STE 201 WINSTON-SALEM, NC 27104	<b>ARCHITECT</b> NEIGHBORING CONCEPTS 1635 WEST TRADE ST STE 1A CHARLOTTE, NC 28216
CONTACT PERSON: MARY ANNA PHILLIPS EMAIL: MARY.PHILLIPS@NOVANTHEALTH.ORG	CONTACT PERSON: GARRETT BUELL PH: (704) 374-0913 EXT. 2500 EMAIL: GARRETT@NEIGHBORINGCONCEPTS.COM
<b>SURVEYOR</b> ACRO DEVELOPMENT SERVICES 601 S. CEDAR ST. STE 101 CHARLOTTE, NC 28202	<b>CIVIL ENGINEER</b> SEPI [A DIVISION OF TRANSYSTEMS] 1 GLENWOOD AVE STE 600 RALEIGH, NC 27603
CONTACT PERSON: PH: (704) 716-5680 EMAIL: EMILLER@ACRO-DS.COM	CONTACT PERSON: DAN MILLER, PE PH: (919) 789-9977 EMAIL: DMILLER@SEPIN.COM
<b>LANDSCAPE ARCHITECT</b> SEPI [A DIVISION OF TRANSYSTEMS] 1 GLENWOOD AVE STE 600 RALEIGH, NC 27603	
CONTACT PERSON: LAUREN DICKSON, PLA PH: (919) 473-9003 EMAIL: LDICKSON@SEPIN.COM	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS



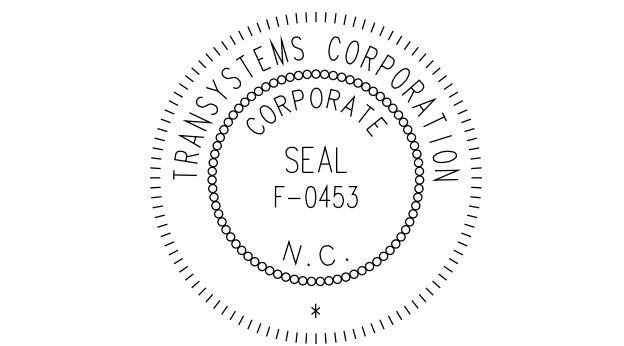
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NOVANT HEALTH  
FAMILY MEDICAL  
CLINIC -  
GREENFIELD

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

COVER SHEET

ISSUE DATE: 11/02/2022

CHECKED BY: L. DICKSON  
SHEET BY: J. ADRIATICO  
PROJECT NUMBER: 21-025

# G-001

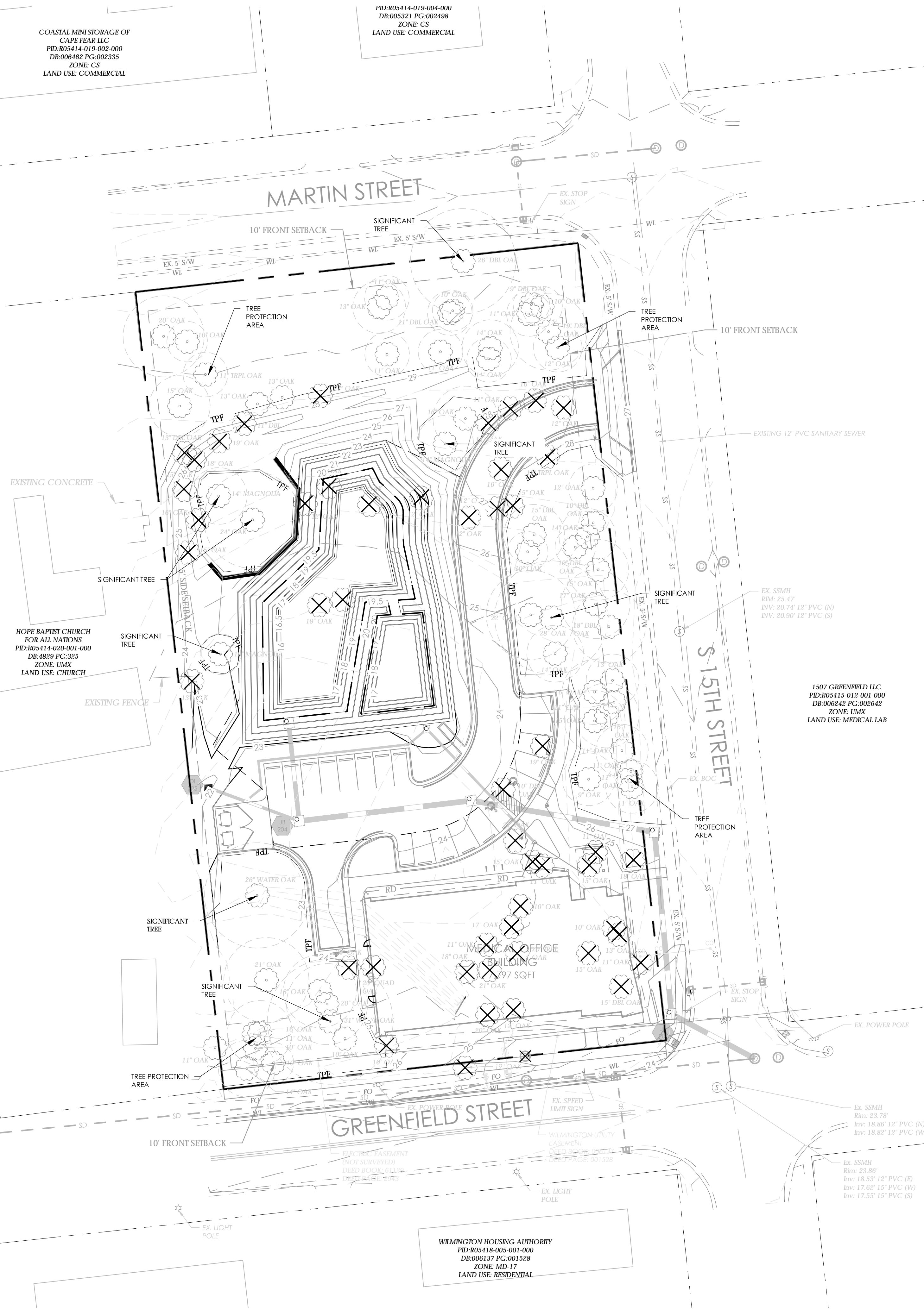
11/2/2022 10:37 AM X:\2021\SEPI\285.00\_MJ\_Clinic\_Greenfield\SLD\CAD\CDS\G-001.dwg





COASTAL MINISTORAGE OF  
CAPE FEAR LLC  
PID:R05414-019-002-000  
DB:006462 PG:002335  
ZONE: CS  
LAND USE: COMMERCIAL

PID:R05414-019-004-000  
DB:006321 PG:002498  
ZONE: CS  
LAND USE: COMMERCIAL

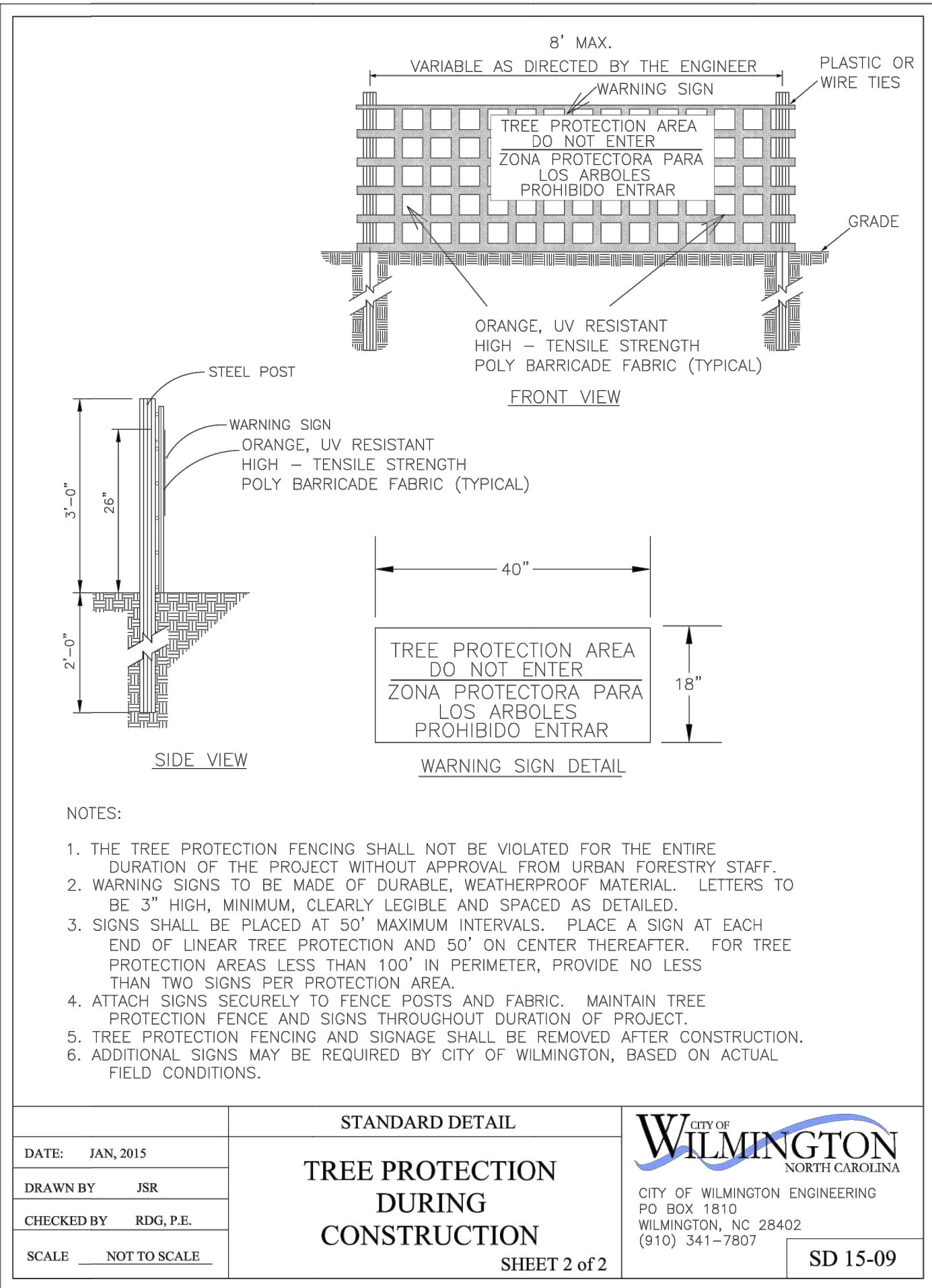


**LEGEND**

- TREES TO BE DEMOLISHED
- TREES TO REMAIN
- LOD - LIMITS OF DISTURBANCE

TREE DEMOLITION TABLE		
SPECIES	SIZE/CALIPER	QUANTITY
<b>REGULATED TREES WITHIN BUILDING FOOTPRINT</b>		
OAK	10"	3
OAK	11"	4
OAK	12"	1
OAK	13"	1
OAK	15"	3
DOUBLE OAK	15"	1
OAK	17"	1
OAK	18"	2
OAK	20"	2
TRIPLE OAK	20"	1
QUAD OAK	20"	1
<b>SUBTOTAL TREE DBH</b>	<b>272"</b>	
<b>REGULATED TREES WITHIN SIDEWALKS / ADA ROUTES</b>		
OAK	18"	1
OAK	19"	1
OAK	21"	1
<b>SUBTOTAL TREE DBH</b>	<b>58"</b>	
<b>REGULATED TREES WITHIN PARKING / DRIVEWAY</b>		
DOUBLE OAK	10"	1
OAK	11"	2
OAK	12"	3
TRIPLE OAK	12"	1
OAK	15"	1
OAK	16"	2
OAK	19"	1
<b>SUBTOTAL TREE DBH</b>	<b>146"</b>	
<b>REGULATED TREES REMOVED FOR GRADING FOR SCM</b>		
OAK	11"	2
OAK	12"	1
OAK	13"	1
DBL OAK	13"	1
OAK	15"	2
OAK	16"	1
OAK	18"	2
OAK	19"	2
OAK	21"	1
<b>SUBTOTAL TREE DBH</b>	<b>201"</b>	
<b>Total DBH Removed</b>	<b>677"</b>	

**NOTES:**  
1. ALL TREES SHOWN TO BE REMOVED ARE WITHIN THE LIMITS OF DISTURBANCE NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS FOR THIS SITE.



**STANDARD DETAIL**

**TREE PROTECTION DURING CONSTRUCTION**

SHEET 2 of 2

DATE: JAN, 2015  
DRAWN BY: JSR  
CHECKED BY: RDG, P.E.  
SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

SD 15-09

**811**  
3 WORKING DAYS BEFORE YOU DIG  
FOR THE LOCATION OF UNDERGROUND FACILITIES

Know what's below.  
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1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

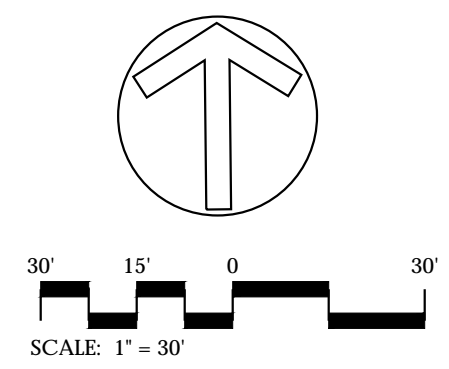
**PERMIT SET**

**TREE INVENTORY PLAN**

ISSUE DATE: 11/02/2022

CHECKED BY: L. DICKSON  
SHOWN BY: J. ADRIATICO  
PROJECT NUMBER: 21-025

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS**

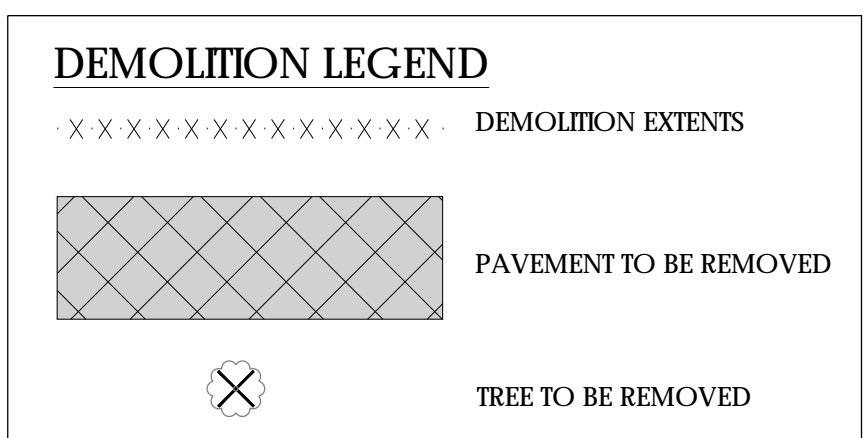




**DEMOLITION PLAN**  
Scale: 1" = 30'

DEMOLITION	
KEY	DESCRIPTION
(A)	CURB AND GUTTER TO BE REMOVED TO LIMITS SHOWN
(B)	SIDEWALK TO BE REMOVED TO LIMITS SHOWN
(C)	TREE TO BE REMOVED IN ITS ENTIRETY
(D)	TREE TO BE CUT AT GROUND LEVEL AND STUMP GROUND 6" BELOW SURFACE
(E)	WALL TO BE REMOVED IN ITS ENTIRETY
(F)	STORM DRAIN PIPES TO BE CAPPED AND REMOVED PER CITY OF WILMINGTON REQUIREMENTS AFTER TEMPORARY DIVERSION DITCH #1 IS TIED INTO PROPOSED OUTLET PIPES
(G)	STORM DRAINAGE MANHOLE TO BE REMOVED IN ITS ENTIRETY
(H)	EXISTING UTILITY POLE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR RELOCATION.
(I)	EDGE OF PAVEMENT TO BE REMOVED FOR INSTALLATION OF CURB AND GUTTER
(J)	FENCE TO BE REMOVED TO PROPERTY BOUNDARY

- DEMOLITION AND EROSION CONTROL NOTES**
1. EROSION CONTROL MEASURES AND TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  2. MAINTENANCE OF TRAFFIC AND TRAFFIC CONTROL IS THE SOLE RESPONSIBILITY OF THE SITE CONTRACTOR. THESE PLANS ARE TO SERVE ONLY AS A GENERAL GUIDE AND IN NO WAY LIMITS THE SITE CONTRACTOR FROM MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH NCDOT STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, OR AS DIRECTED BY THE LOCAL MUNICIPALITY.
  3. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY NCDOT STREET OR HIGHWAY RIGHT-OF-WAY, OBTAIN ALL PERMITS AND ENCROACHMENTS. CROSS CHECK SPECIAL PROVISIONS WITH PLANS. MAINTAIN A COPY OF ALL PERMITS ON SITE. CONTACT LOCAL DISTRICT ENGINEER 24 HOURS BEFORE PLACING ANY CURB AND GUTTER WITHIN NCDOT RIGHT-OF-WAY.
  4. CONTRACTOR TO ACQUIRE PROPER DEMOLITION PERMITS PRIOR TO REMOVAL OF EXISTING STRUCTURES/UTILITIES.
  5. SITE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL AND TO INITIATE CLEAN-UP OF LITTER AND REFUSE GENERATED BY HIMSELF AND SUBCONTRACTORS. THE CLEAN-UP OF LITTER AND REFUSE SHALL BE DONE ON A REGULAR BASIS, AND SHALL INCLUDE INITIATING ACTION AND ASSUMING ANY COST IN REMEDYING THE SITUATION. ALL REFUSE AND DEBRIS SHALL BE DISPOSED OF LAWFULLY AT AN OFF-SITE LOCATION.
  6. WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.



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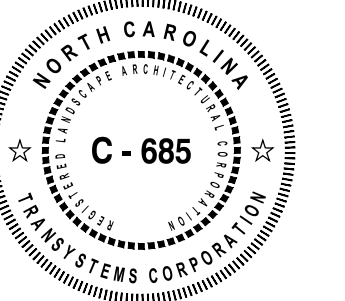
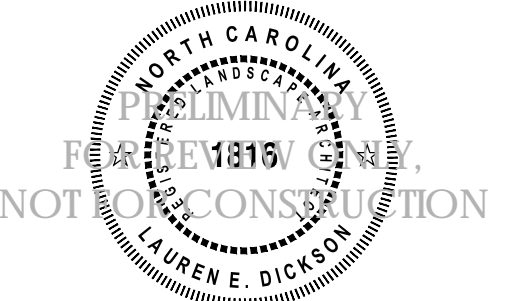
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

**PERMIT SET**

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS**

**DEMOLITION PLAN**

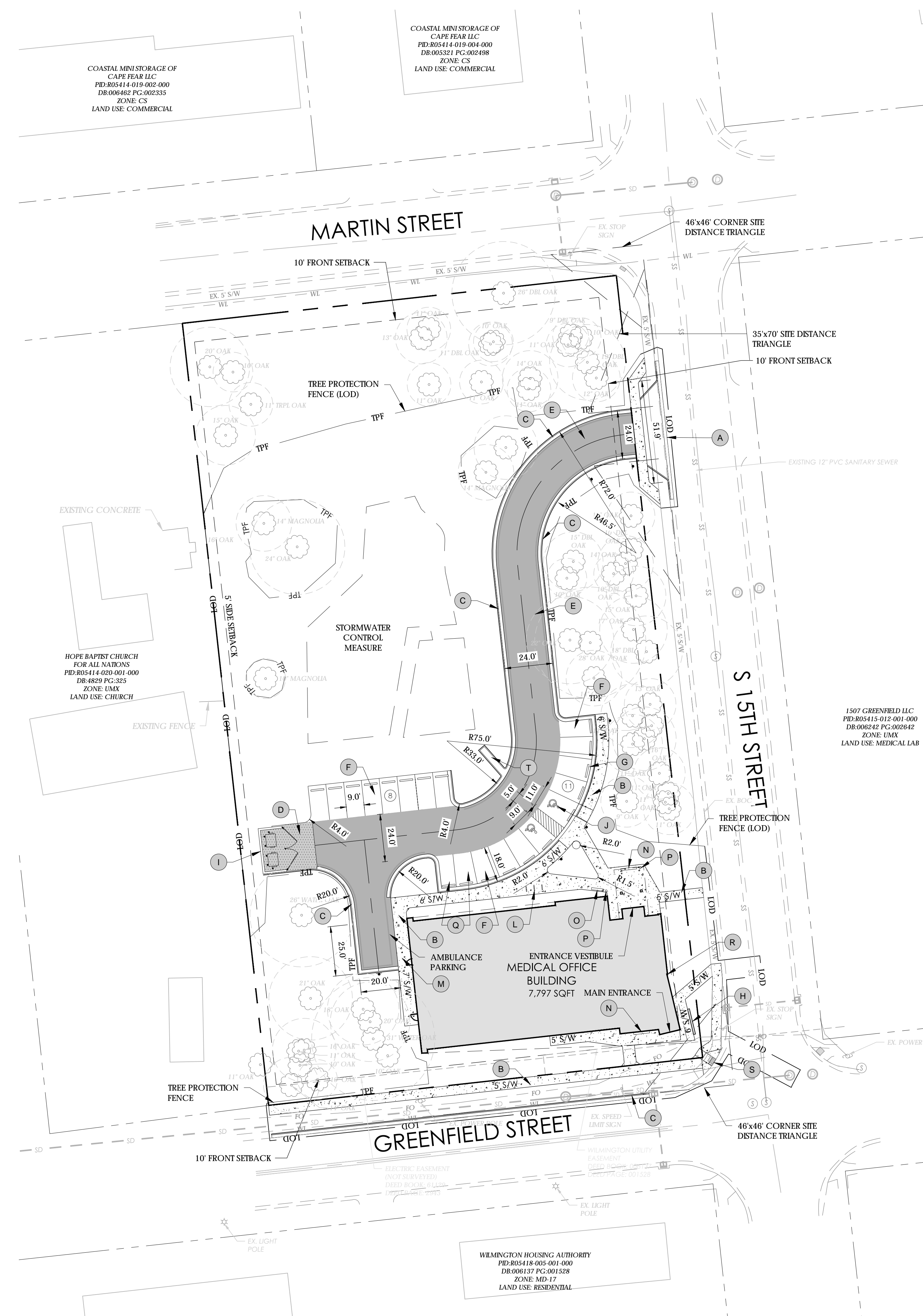
ISSUE DATE: 11/02/2022

CHECKED BY: L. DICKSON  
SHEET BY: J. ADRIATICO  
PROJECT NUMBER: 21-025

**CX100**

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11/2/2022 10:37 AM X:\2021\SEI\285.00\_MJ\_Clinic\_Greenfield\_SitePlan\_CAD\CDS\CS100.dwg



**SITE PLAN**  
Scale: 1" = 30'

**SITE NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
2. ALL AREAS OUTSIDE THE 'LIMITS OF CONSTRUCTION' SHALL REMAIN UNDISTURBED AT ALL TIMES.
3. TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. VEHICULAR ACCESS SHALL BE MAINTAINED AT ALL TIMES.
4. FIRE LANE MARKINGS SHALL CONFORM TO THE CITY OF WILMINGTON DESIGN DETAILS AND SPECIFICATIONS, CITY OF WILMINGTON FIRE MARSHAL, AND THE CURRENT NC FIRE CODE. IF THE CRITERIA IS CONFLICTING, THE MORE RESTRICTIVE DESIGN GUIDELINE SHALL BE FOLLOWED.
5. ALL INTERNAL PAVEMENT MARKINGS SHALL BE WHITE PAINT.
6. ALL PAVEMENT MARKINGS WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
7. ALL PAVED PARKING FACILITIES SHALL BE STRIPED WITH FOUR INCH WHITE LINES.
8. ALL ADA RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT ADA REQUIREMENTS AND NORTH CAROLINA BUILDING CODE.
9. ACCESSIBLE PARKING SPACE DIMENSIONS, SLOPE AND SIGNAGE SHALL COMPLY WITH THE MOST RECENT VERSION OF ANSI/ICC A117.1.
10. HANDRAILS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE.
11. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE, MAXIMUM SLOPE SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.
12. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL STAIRS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE.
13. ALL SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE.
14. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH THE LATEST VERSION OF THE NC BUILDING CODE.
15. DOORS ARE INDICATED ON ALL BUILDINGS FOR WHICH ARCHITECTURAL DESIGN HAS OCCURRED.
16. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES', AND AS FURTHER DIRECTED BY THE CITY OF WILMINGTON AND NCDOT.
17. ALL ON-SITE PAVEMENT SHALL BE STANDARD ASPHALT, UNLESS OTHER WISE NOTED.
18. WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT, CONTRACTOR SHALL MILL 1.5"x1.5" LAP JOINT IN EXISTING PAVEMENT.
19. NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHTS, SHRUBS, TREES, OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN 30 INCHES AND ABOVE GROUND AND 10 FEET ABOVE GROUND LEVEL WITHIN A TRIANGULAR SIGHT DISTANCE.
20. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (VERTICALLY).
21. EXISTING WHEELCHAIR RAMPS SHALL BE RETROFITTED WITH FLEXIBLE SURFACE-APPLIED DETECTABLE WARNING MATS.
22. WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

SITE DATA TABLE			
ADDRESS	1410 S 15TH STREET WILMINGTON, NC 28401		
OWNER	NOVANT HEALTH, INC.		
PIN	3127-32-9330.000		
PARCEL ID #	R05414-020-002-000		
ZONING DISTRICT	UMX		
LIMITS OF DISTURBANCE	64,693 SF / 1.48 AC		
PROJECT LOT AREA	CURRENT: 2.00 ACRES (87,120SF)	PROPOSED: 2.00 ACRES (87,120SF)	
WATERSHED	GREENFIELD LAKE		
RIVER BASIN	CAPE FEAR		
FLOODPLAIN	N/A		
WATERSHED OVERLAY DISTRICT	N/A		
USE	CURRENT: VACANT	PROPOSED: OFFICE & MEDICAL CLINIC	
IMPERVIOUS	CURRENT: 0 SF	PROPOSED: 31,933 SF (0.73 AC)	
CAMA LAND USE CLASSIFICATION	URBAN		
URBAN MIXED-USE DIMENSIONAL STANDARDS (UDO Table 18-43.1)			
SITE IS INSIDE THE 1945 CORPORATE LIMITS			
SETBACKS	REQUIRED	PROVIDED	
FRONT	10' MAXIMUM	20'	
SIDE	5' MINIMUM	59'	
REAR	5' MINIMUM	12'	
BUILDING HEIGHT	45' MAXIMUM	24'-0"	
<b>BUILDING INFORMATION</b>			
BUILDING CONSTRUCTION TYPE	II-B		
BUILDING LOT COVERAGE	8.90%		
SQUARE FOOTAGE	7,752 SF		
TOTAL SQUARE FOOTAGE	7,752 SF		
NONRESIDENTIAL BASELINE PARKING RATIOS BY USE (UDO Table 18-341.2)			
	REQUIRED	PROVIDED	
PARKING SPACES	NO REQUIREMENT	19 SPACES (2 ADA)	
BICYCLE PARKING	2 SPACES OR 1 PER 5,000 SF OF GFA	3 RACKS / 6 SPACES	
<b>ESTIMATED TRIP GENERATION</b>			
	AM	PM	ADT
	24	30	279

**NOTES:**

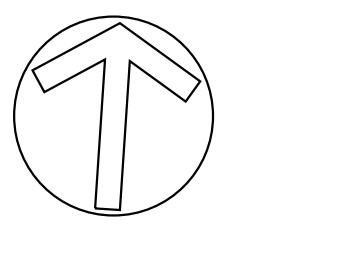
1. ALL DRIVEWAYS ALONG MAJOR THOROUGHFARES SHALL HAVE A PROPERTY LINE OFFSET OF 75' MEASURED AT THE CURBLINE. PROJECT DRIVEWAYS WILL HAVE TO SUBMIT FOR A VARIANCE DURING WILMINGTON TRC REVIEW.
2. ANY FREE STANDING SIGN(S) ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN; NO POLE SIGNS SHALL BE PERMITTED.

**SITE IMPROVEMENTS**

KEY	DESCRIPTION	DETAIL	SHEET
A	COMMERCIAL DRIVEWAY	SD 3-03.03	CS500
B	SIDEWALK	SD 3-10	CS500
C	CURBING	SD 3-11	CS500
D	HEAVY DUTY CONCRETE PAVING	2	CS501
E	HEAVY DUTY ASPHALT PAVING	3	CS501
F	STANDARD DUTY ASPHALT PAVING	1	CS501
G	CONCRETE WHEEL STOP	4	CS501
H	SEAT WALL	2	CS502
I	DUMPSTER ENCLOSURE	1	CS502
J	ACCESSIBLE PARKING SPACES	5	CS501
L	BIKE RACK	6	CS501
M	TURNDOWN SIDEWALK	7	CS501
N	8' BACKLESS HUDSON BENCH AS MANUFACTURED BY FORMS + SURFACES. TO BE SURFACE MOUNTED PER MANUFACTURER'S DETAILS & SPECIFICATIONS		
O	6' HUDSON BENCH, WITH BACK, AS MANUFACTURED BY FORMS + SURFACES. TO BE SURFACE MOUNTED PER MANUFACTURER'S SPECIFICATIONS & DETAILS.		
P	TRASH RECEPTACLE		
Q	ELECTRIC VEHICLE READY PARKING SPACES - SEE MEP PLANS		
R	SPLASH BLOCK. REFERENCE ARCHITECTURAL SPECIFICATIONS FOR FURTHER DETAIL.		
S	ACCESSIBLE RAMP	SD3-07	CS500
T	CONCRETE FLUME	4	CD501

**PAVEMENT LEGEND**

	CONCRETE
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT



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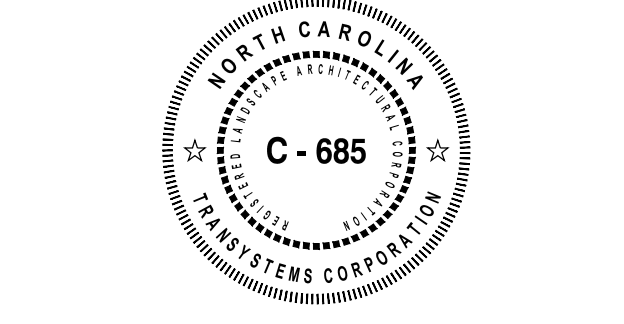
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NORTH CAROLINA  
ENGINEER  
LAUREN E. DICKSON  
1815  
NOT A SEAL  
NOT OF CONSTRUCTION



**811** 3 WORKING DAYS BEFORE YOU DIG  
FOR THE LOCATION OF UNDERGROUND UTILITIES

Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

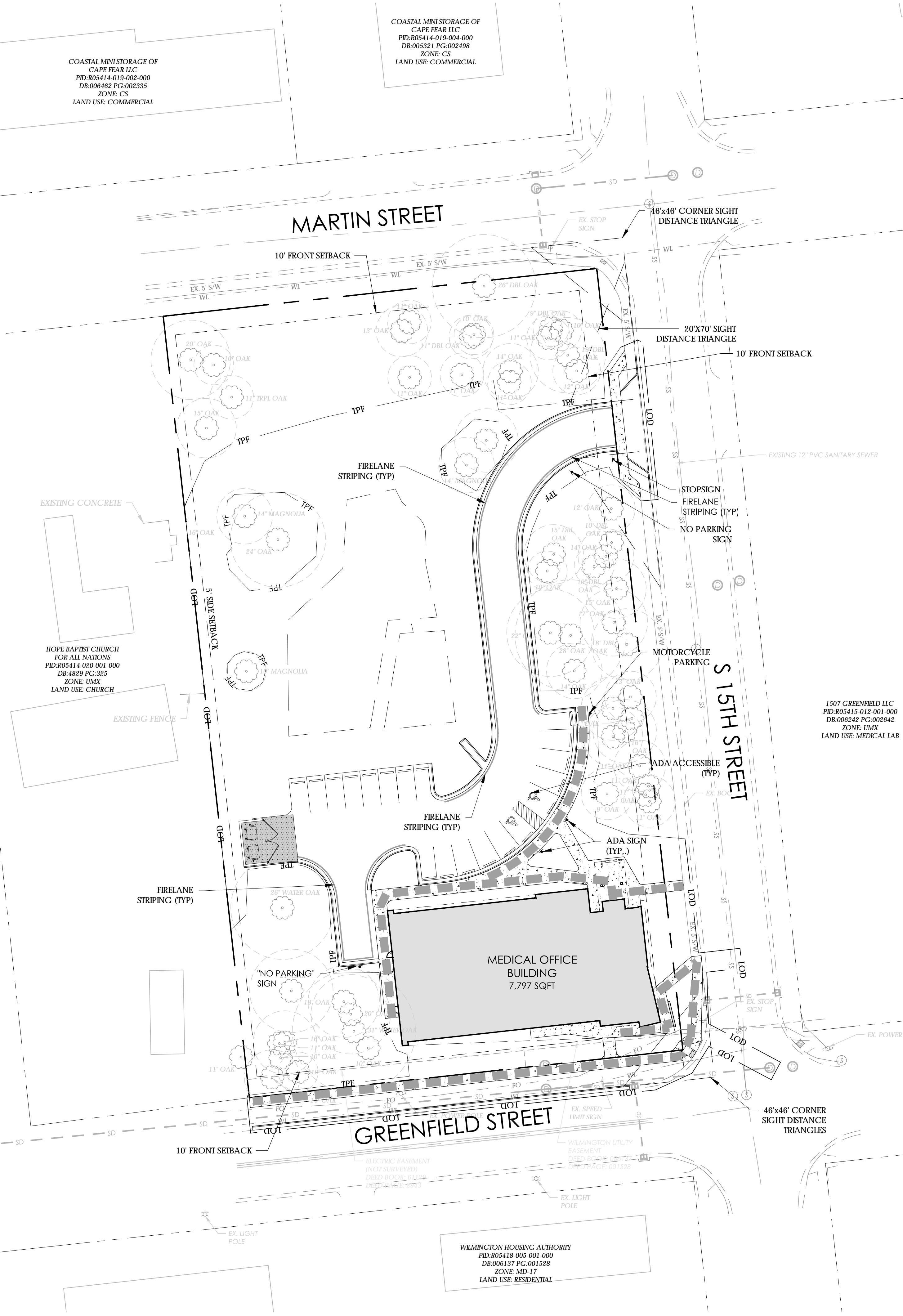
**PERMIT SET**

**SITE PLAN**

ISSUE DATE 11/02/2022

CHECKED BY L. DICKSON  
 SHEET BY J. ADRIATICO  
 PROJECT NUMBER 21-025

**CS100**



**PAVEMENT MARKING & SIGNAGE PLAN**  
Scale: 1" = 30'

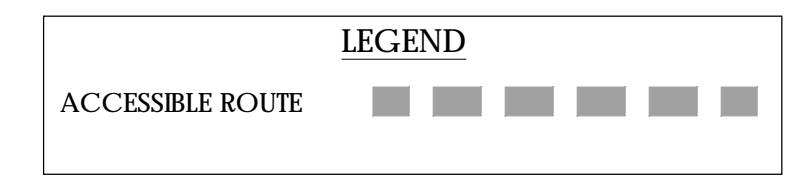
PAVEMENT MARKINGS			
MARKING TYPE	NCDOT STD.	SIZE	COLOR
PARKING SPACES	--	4-IN	WHITE
DIRECTIONAL ARROWS	1205.08	STANDARD	WHITE
NO PARKING - FIRE LANE *	--	4-IN	YELLOW
DIAGONAL	1205.09	8-IN	YELLOW

\*NO PARKING - FIRE LANE MARKING SHALL BE THERMOPLASTIC AND CONFORM TO CITY OF WILMINGTON STANDARD DETAIL/SPECIFICATIONS FIRE LANE STRIPING AND CONSIST OF A 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS.

SIGNAGE		
SIGN TYPE	MUTCD STANDARD	SIZE
STOP	R1-1	30"X30"
NO PARKING ANYTIME	R7-1D	12"X18"
ACCESSIBLE PARKING SYMBOL	3B-22	28"X24"
NO PARKING LOADING ZONE	R7-6	12"X18"
MOTORCYCLE PARKING		12"X18"

- PAVEMENT MARKING AND SIGNAGE NOTES:**
- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
  - ALL SIGNS ARE TO BE MOUNTED WITH 7 FT MINIMUM VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN. ON 3 LB GALVANIZED STEEL U-CHANNEL POST AND SET WITHIN 3 FT DEEP X 12 INCH DIAMETER CONCRETE FOOTING.
  - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND PROJECT SPECIFICATIONS.
  - COORDINATE FIRE LANE MARKINGS WITH CITY OF WILMINGTON FIRE MARSHAL.
  - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE LINES WHICH SHALL BE ALKYD-RESIN TYPE PAINT.
  - ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE PROJECT MANAGER PRIOR TO SIGN INSTALLATION.
  - CENTER ALL DIRECTIONAL ARROWS WITHIN TRAVEL LANE.
  - COORDINATE FIRE LANE MARKINGS WITH TOWN OF MOORESVILLE FIRE MARSHAL.
  - ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM REFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.

- CITY OF WILMINGTON NOTES:**
- ANY REQUIRED INSTALLATION OR RELOCATION OF TRAFFIC SIGNS/PAVEMENT MARKING IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND PAVEMENT MARKINGS MANAGER/SUPERVISOR PRIOR TO INSTALLATION/RELOCATION OF ANY TRAFFIC SIGNS OR MARKINGS IN EXISTING OR PROPOSED PUBLIC ROW.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING WILL BE REPLACED.
  - CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE ROW.
  - CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.



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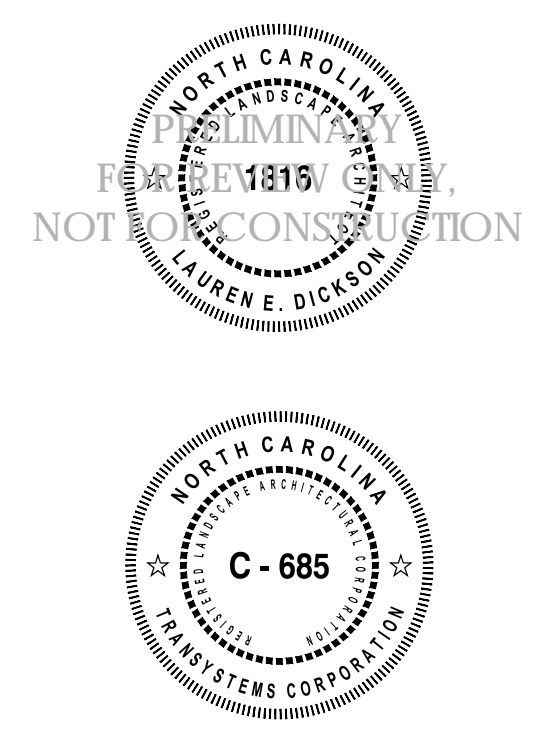
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**  
1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

**PERMIT SET**

**PAVEMENT MARKING & SIGNAGE PLAN**  
ISSUE DATE 11/02/2022  
CHECKED BY L. DICKSON  
DESIGNED BY J. ADRIATICO  
PROJECT NUMBER 21-025  
**CS101**

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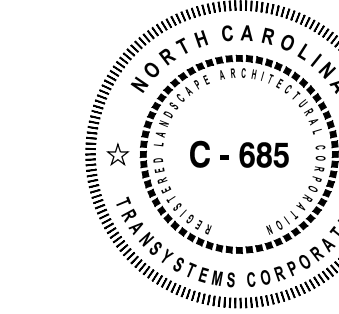
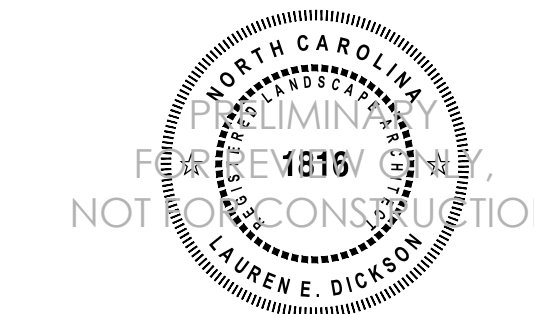
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NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

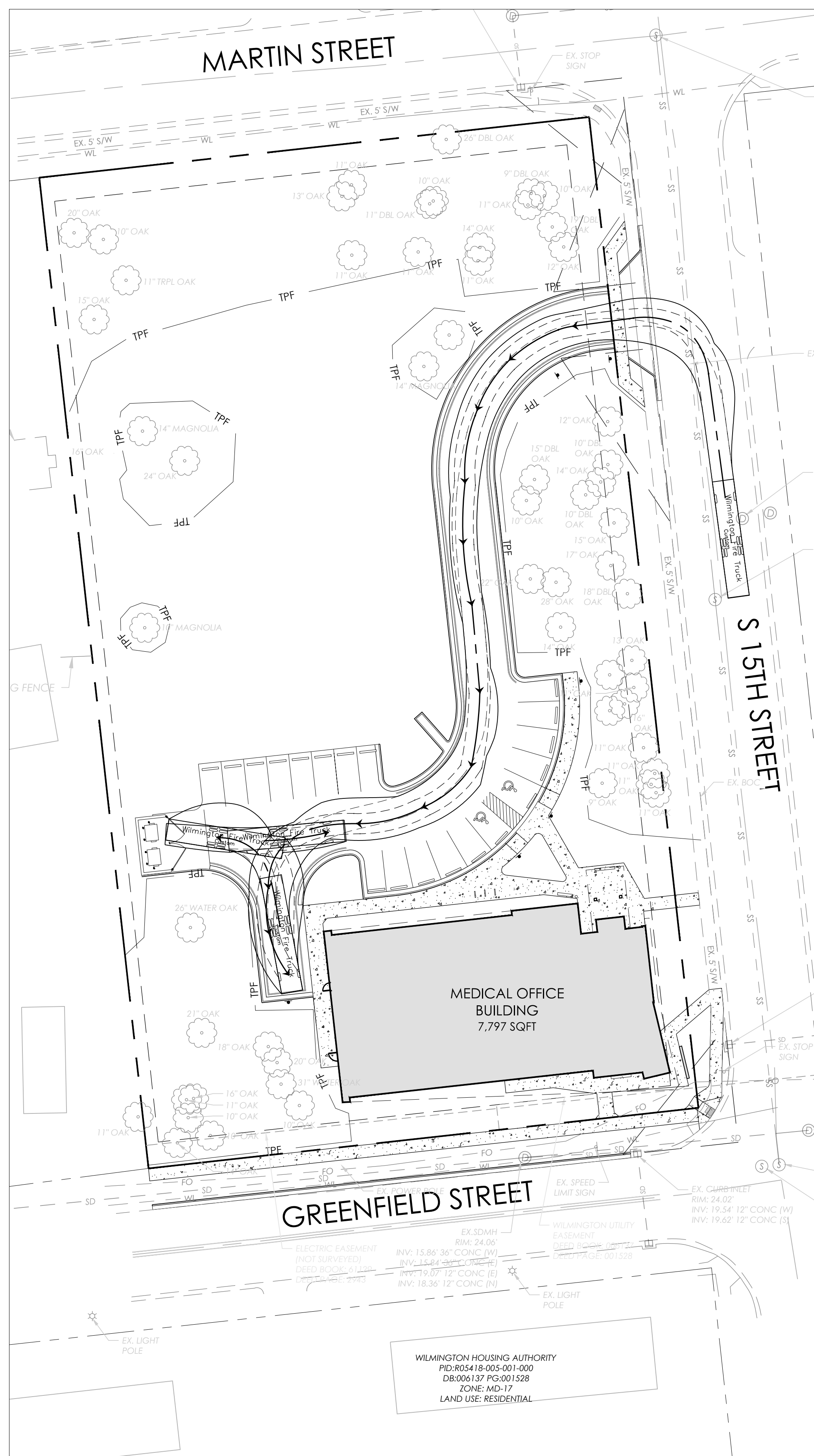
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TURN MANEUVER ENLARGEMENTS

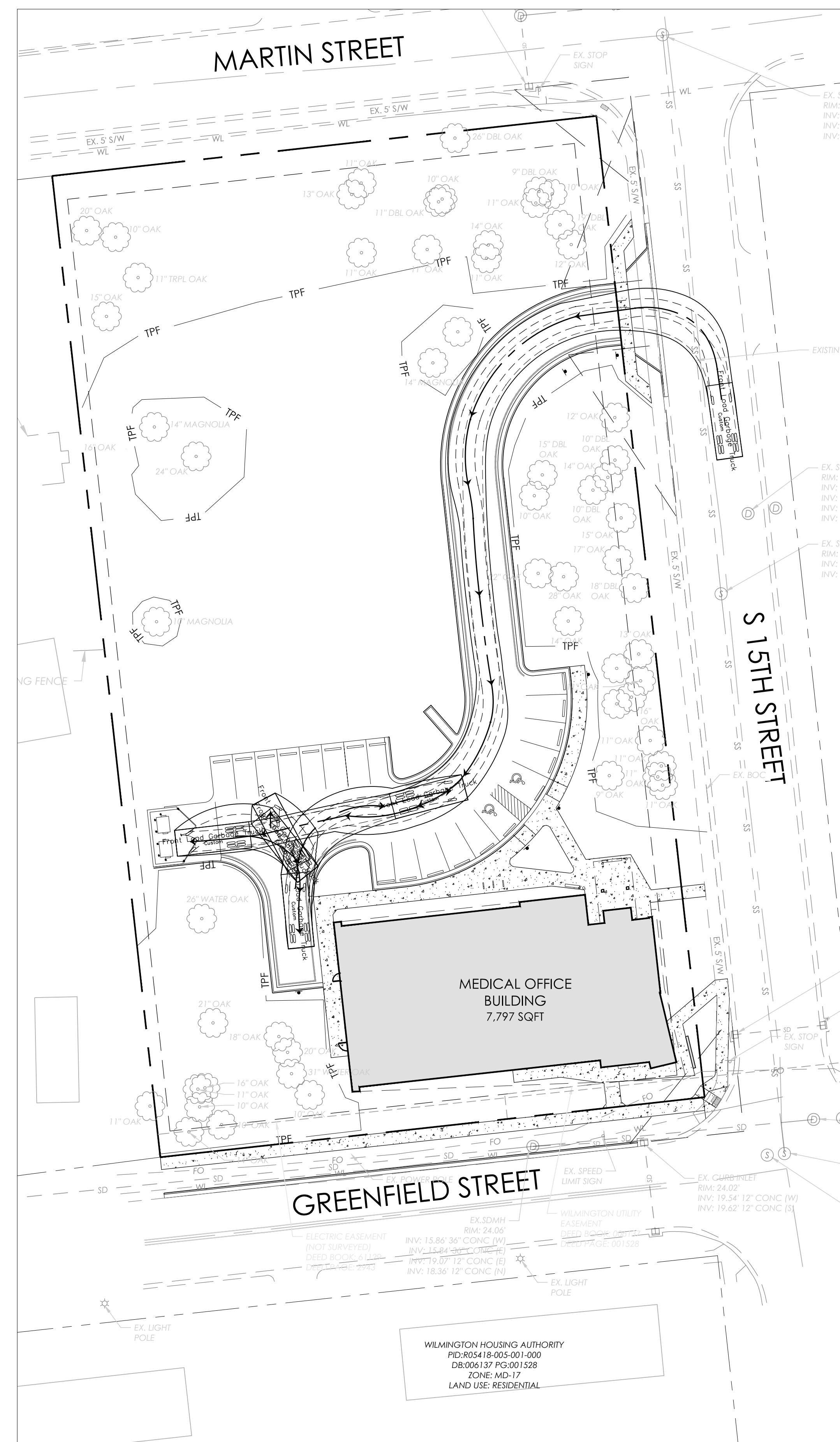
ISSUE DATE 11/02/2022

CHECKED BY L. DICKSON  
SHEET BY J. ADRIATICO  
PROJECT NUMBER 21-025  
**CS400**

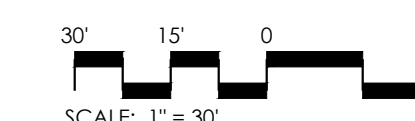
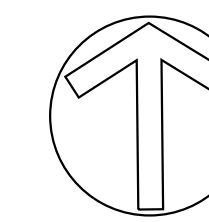
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FIRE TRUCK MOVEMENT ENLARGEMENT  
Scale: 1" = 30'

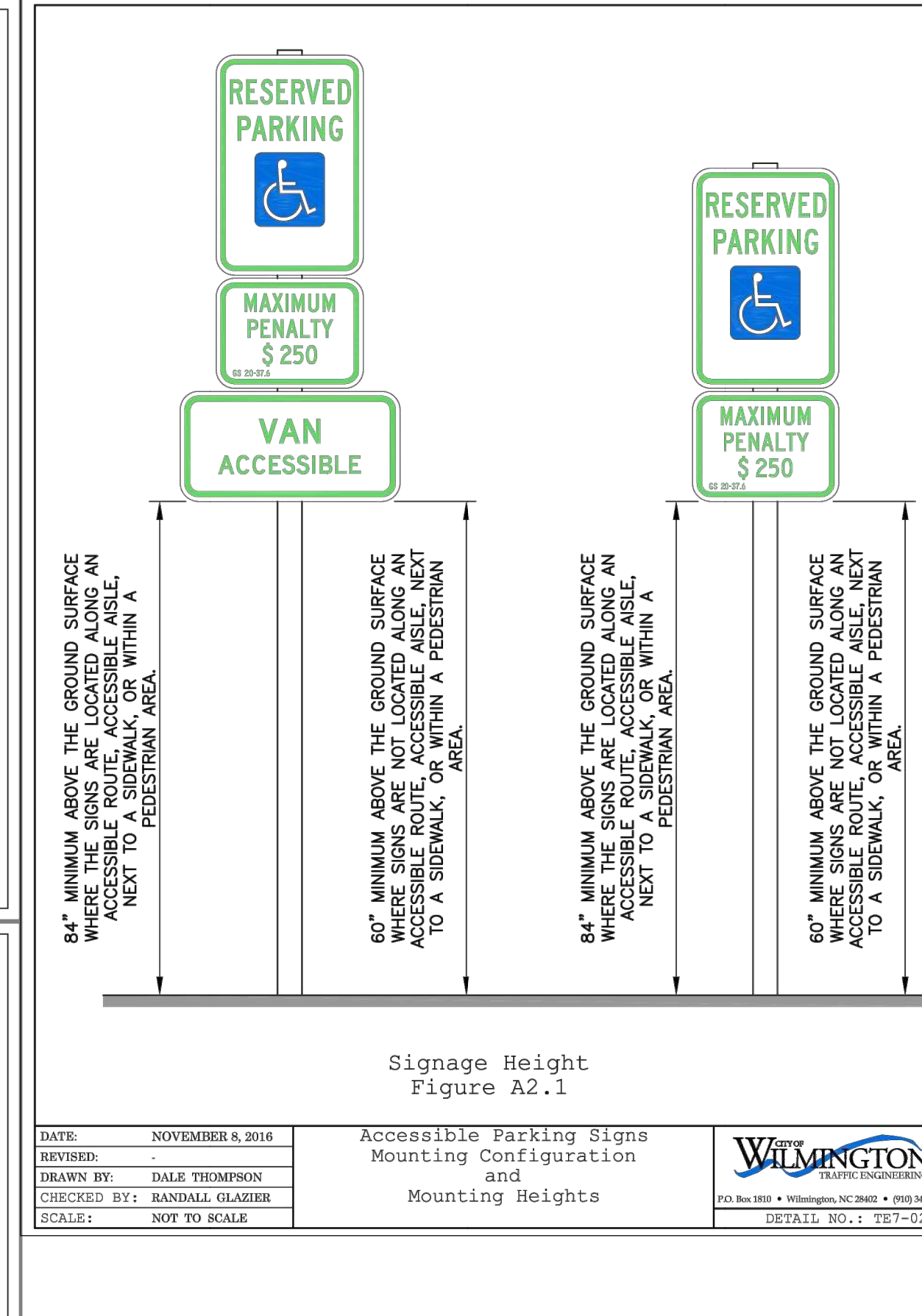
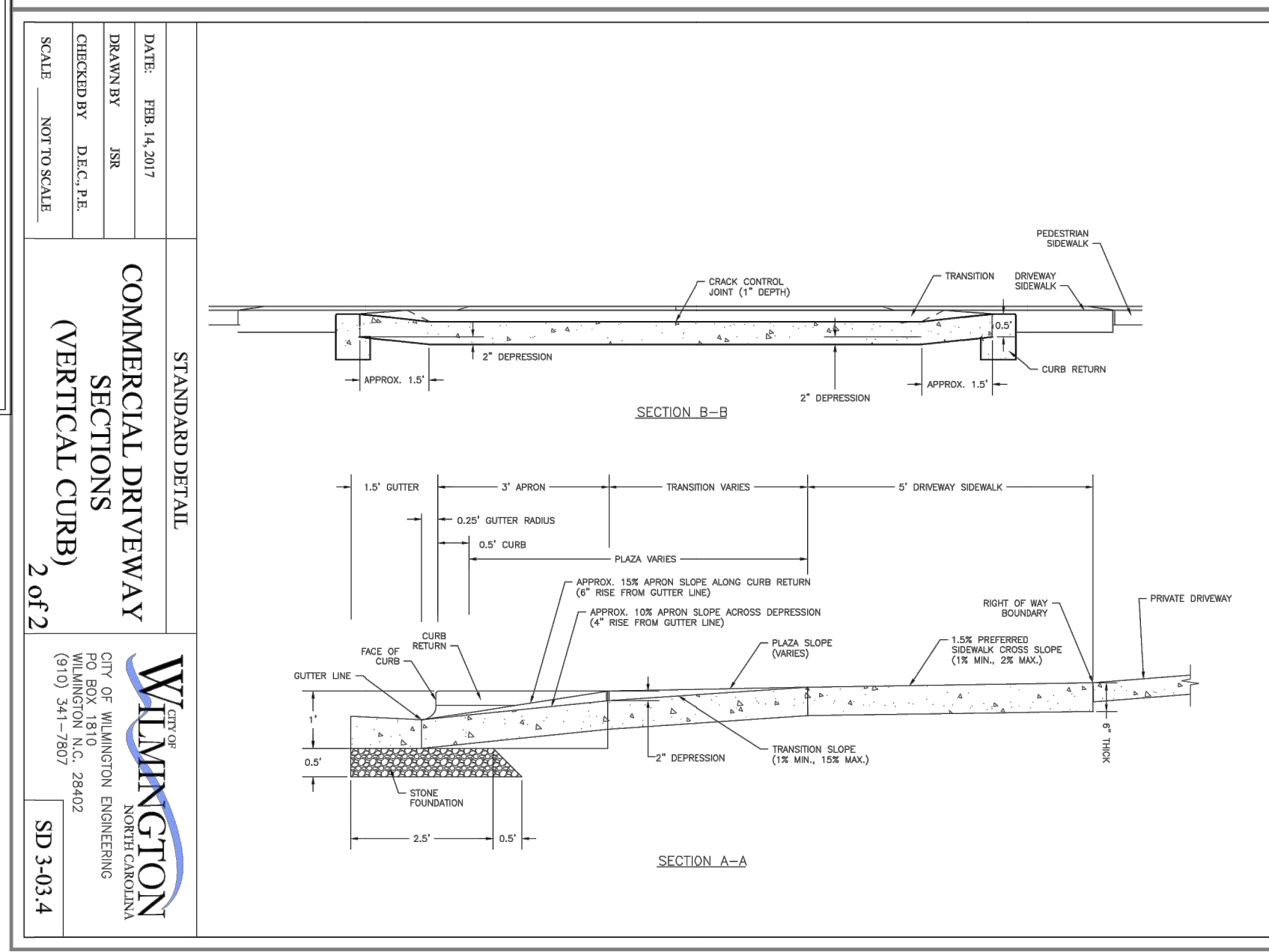
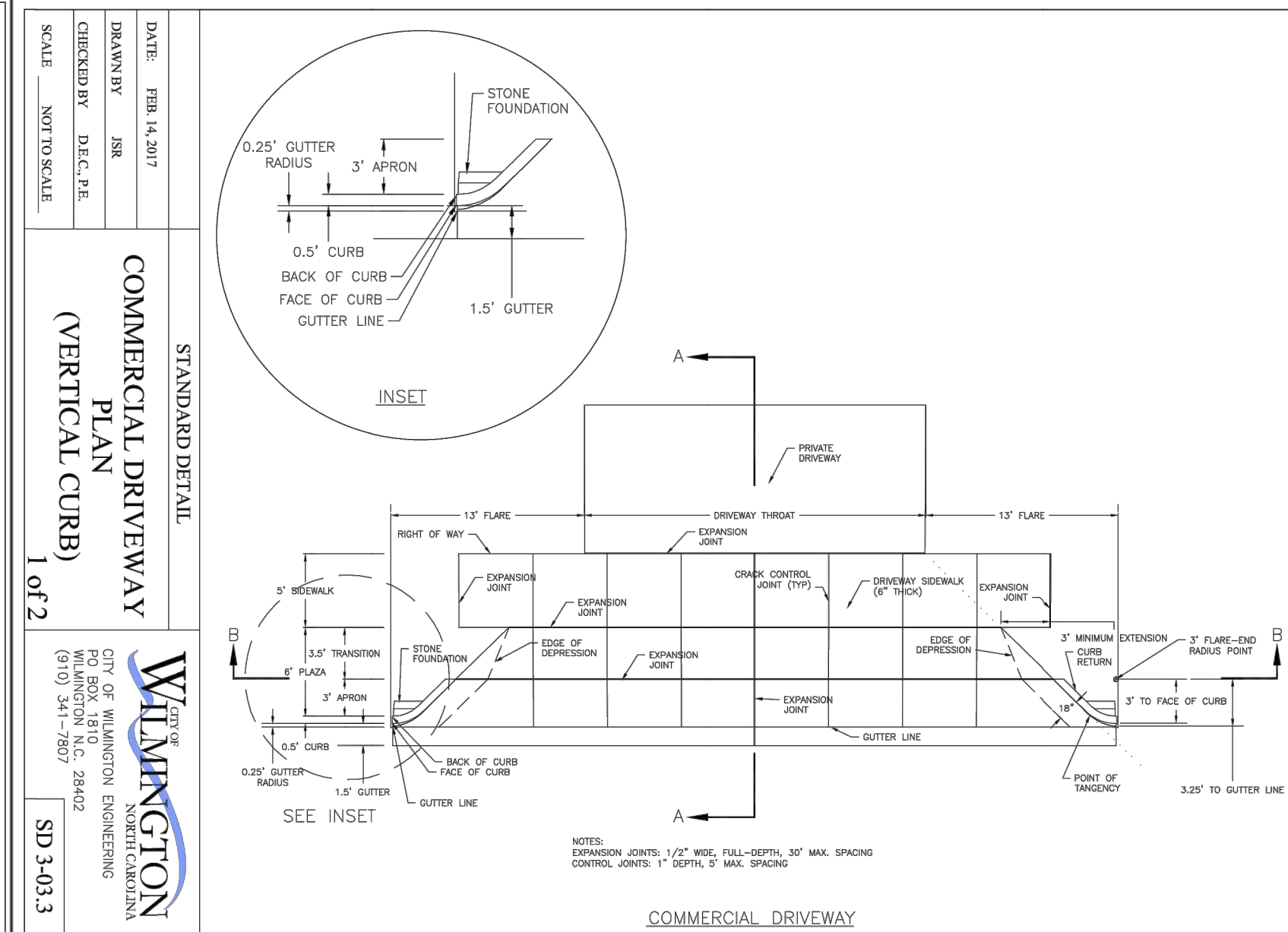
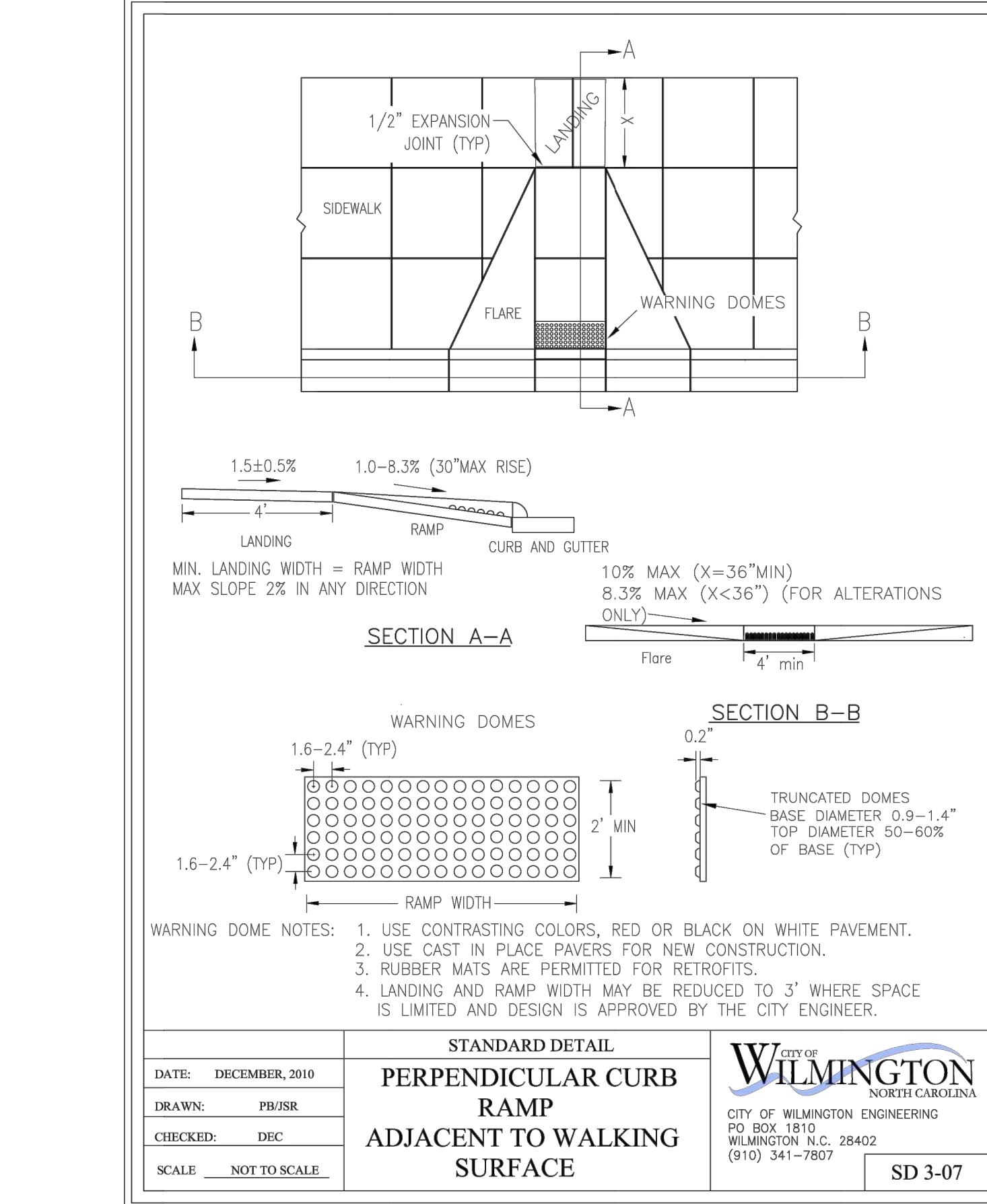
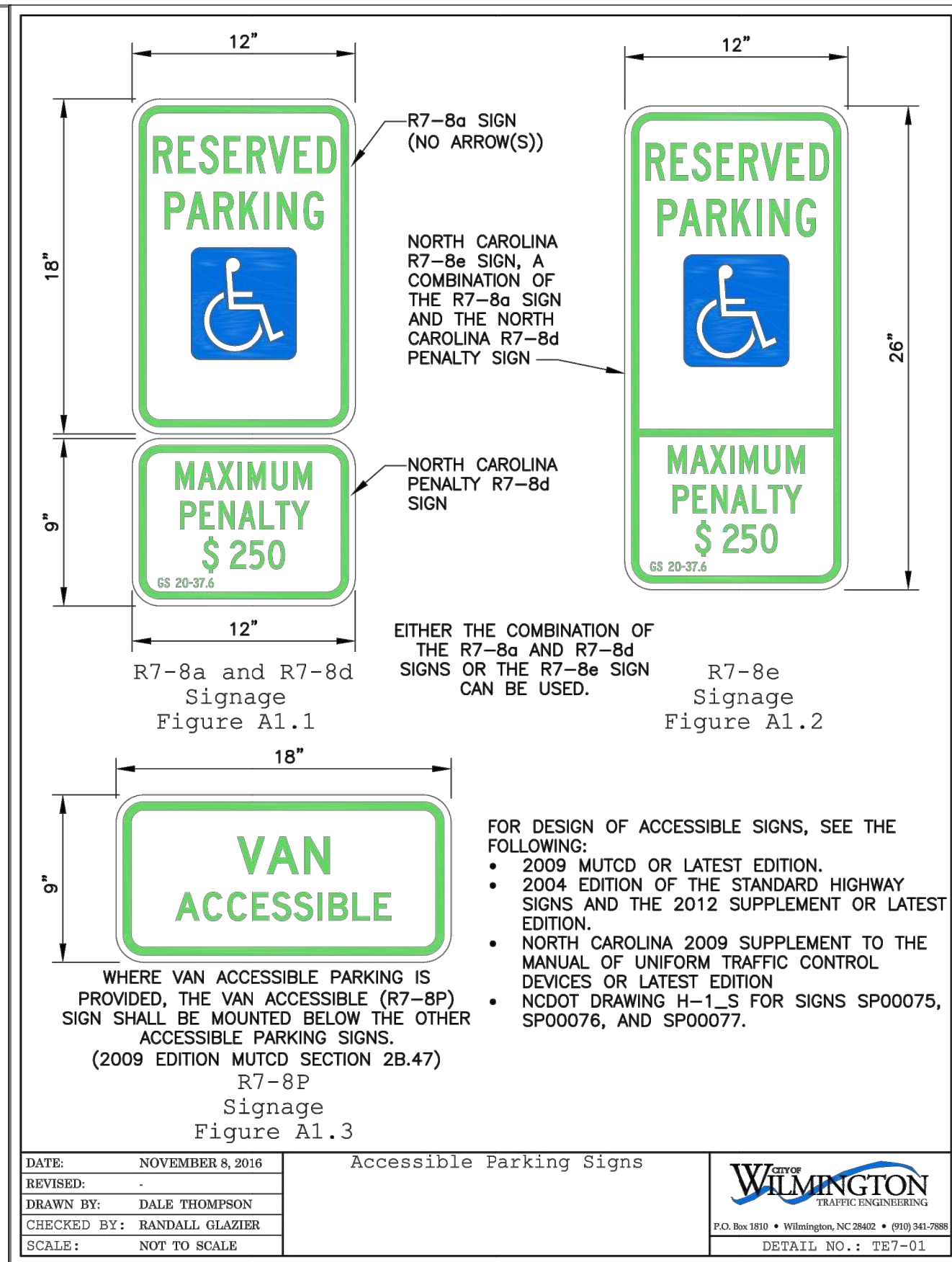
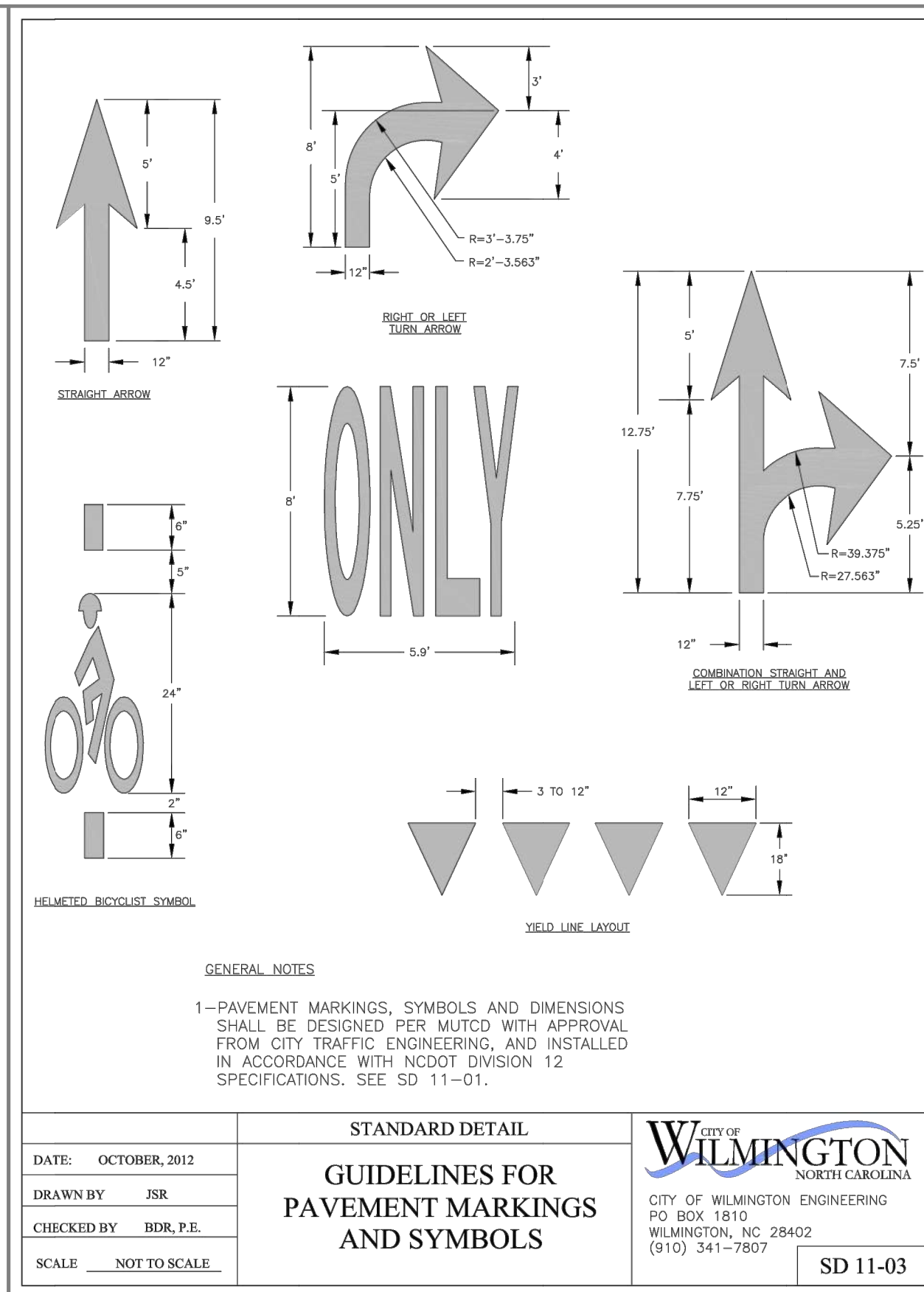
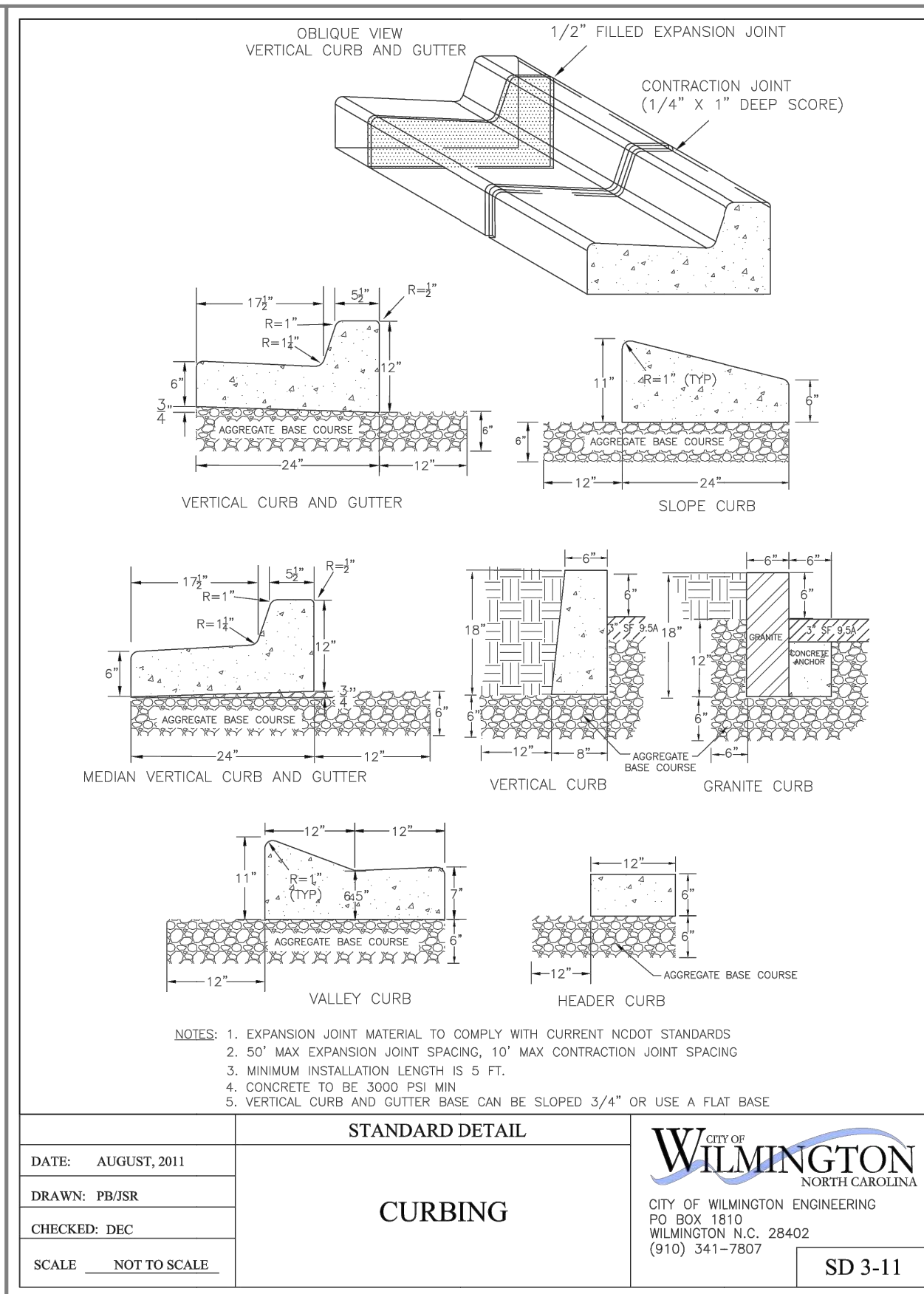
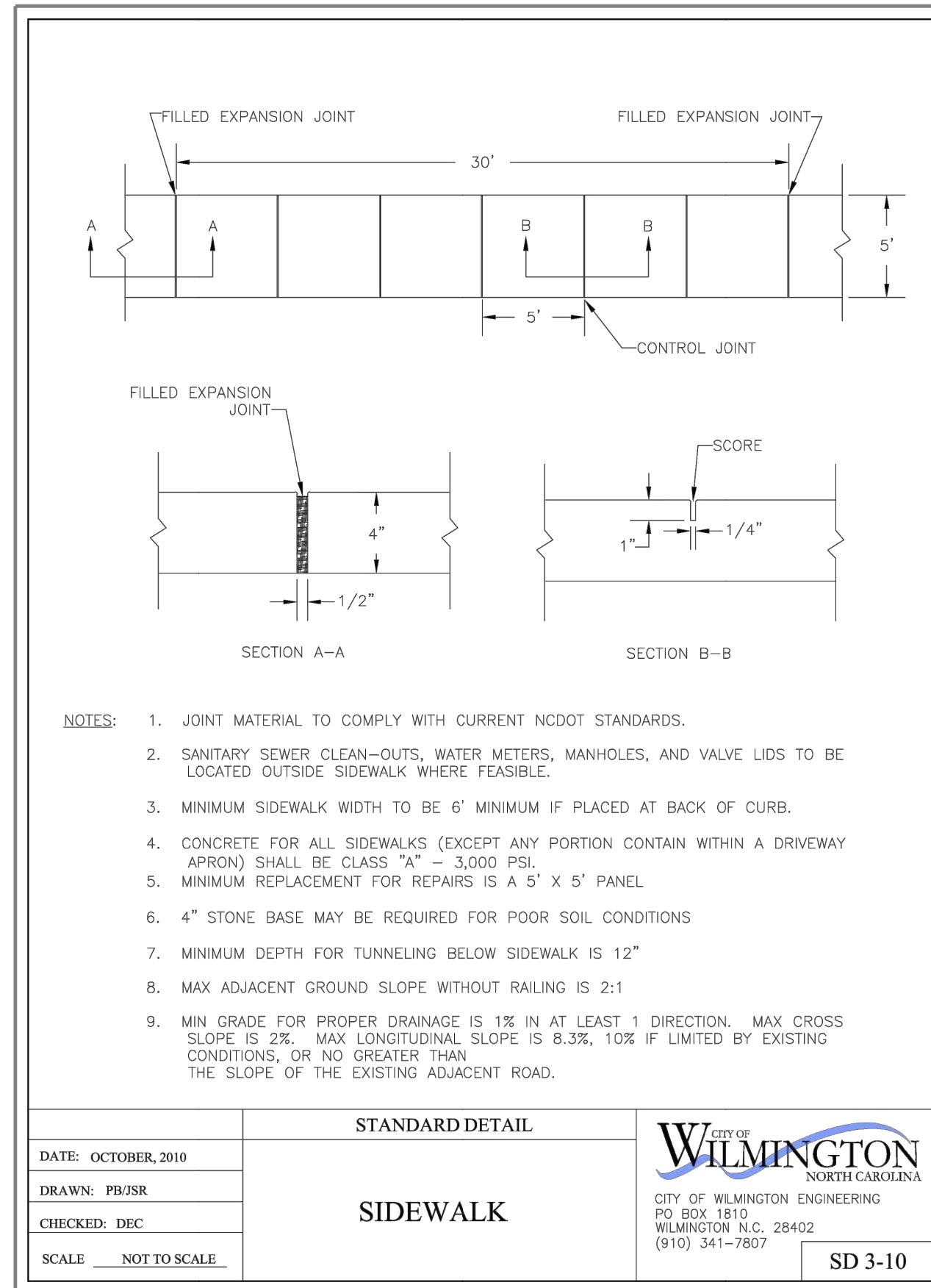


GARBAGE TRUCK MOVEMENT ENLARGEMENT  
Scale: 1" = 30'



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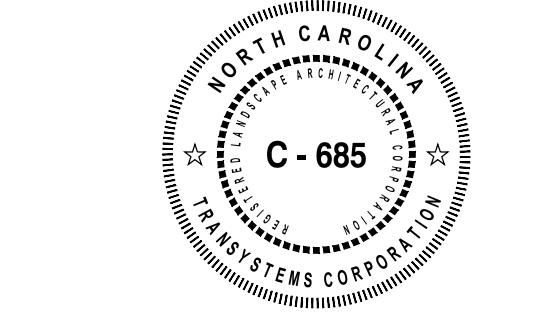
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

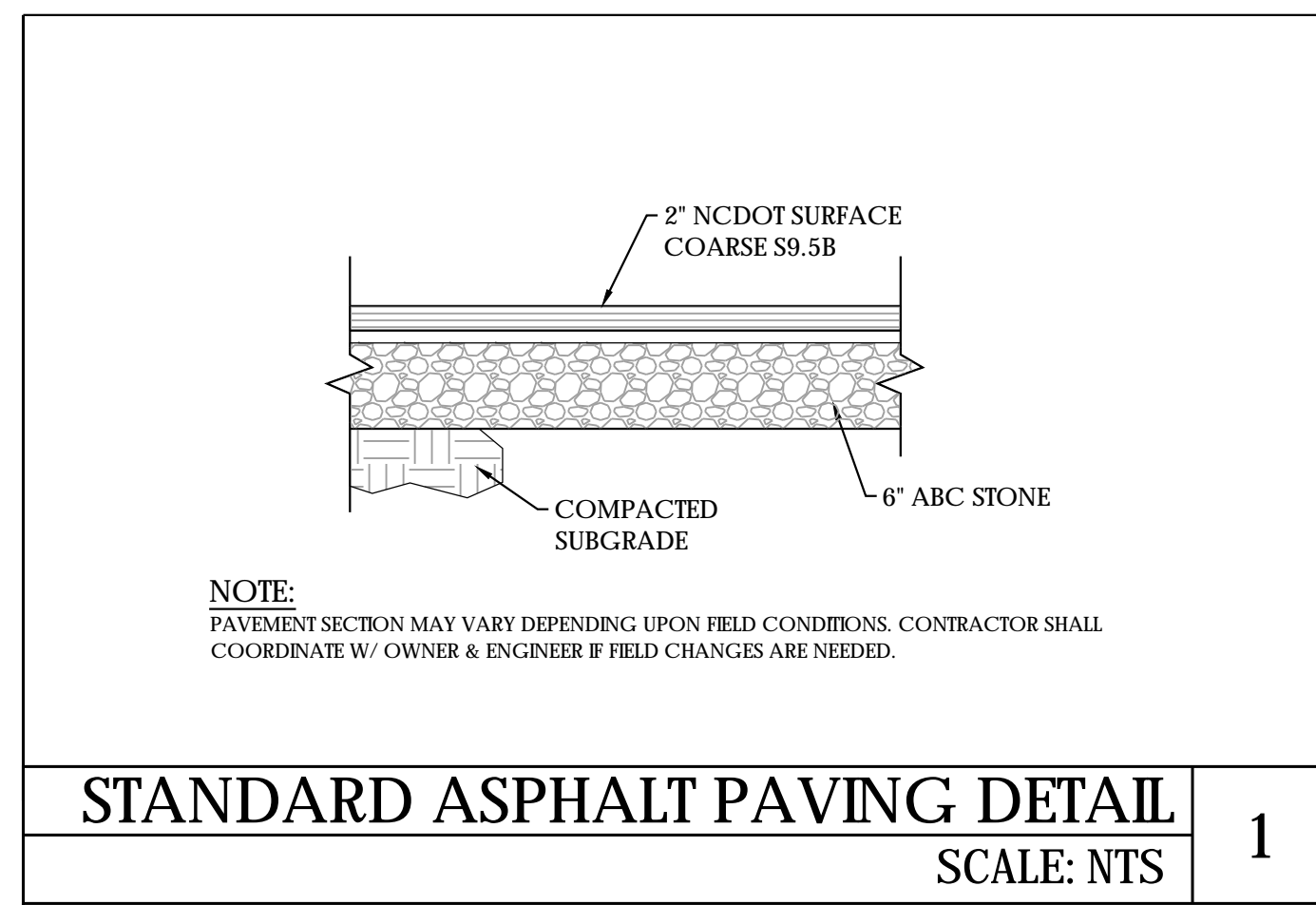
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**SITE DETAILS**

ISSUE DATE: 11/02/2022

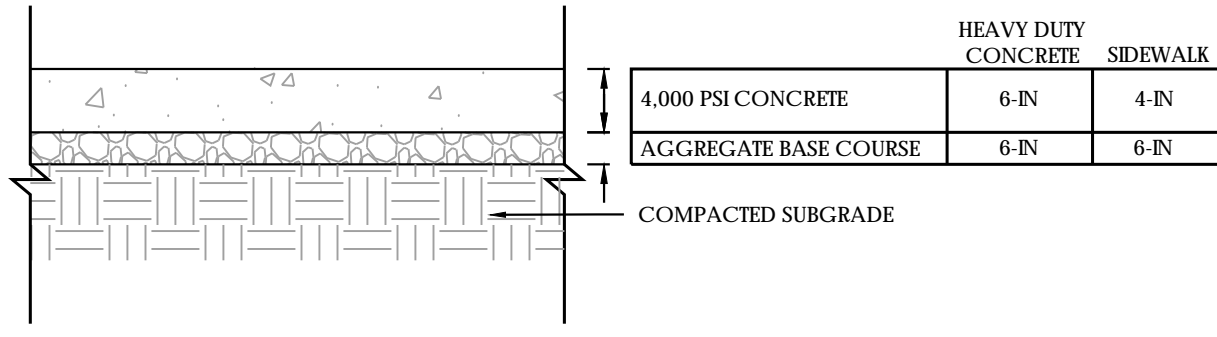
CHECKED: L. DICKSON  
 SHEET BY: J. ADRIATICO  
 PROJECT NUMBER: CS500-21-025

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**STANDARD ASPHALT PAVING DETAIL**  
SCALE: NTS

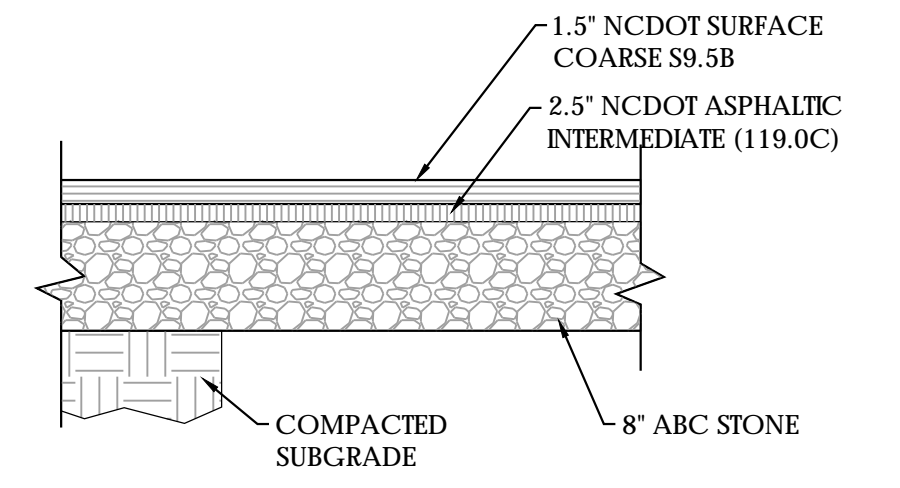
1



- NOTES:**
1. THE FINAL PAVEMENT DESIGN WILL BE BASED ON THE GEOTECHNICAL ENGINEER'S REPORT.
  2. CONCRETE SHALL BE DESIGNED TO ACHIEVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI
  3. PAVEMENT DESIGN TO BE PROVIDED BY GEOTECHNICAL CONSULTANT. CONTRACTOR TO COORDINATE WITH GEOTECHNICAL ENGINEER FOR FINAL PAVEMENT THICKNESSES, PROOFROLLING, COMPACTION, & TESTING REQUIREMENTS.
  4. REFERENCE GEOTECHNICAL REPORT FOR FURTHER DETAIL.

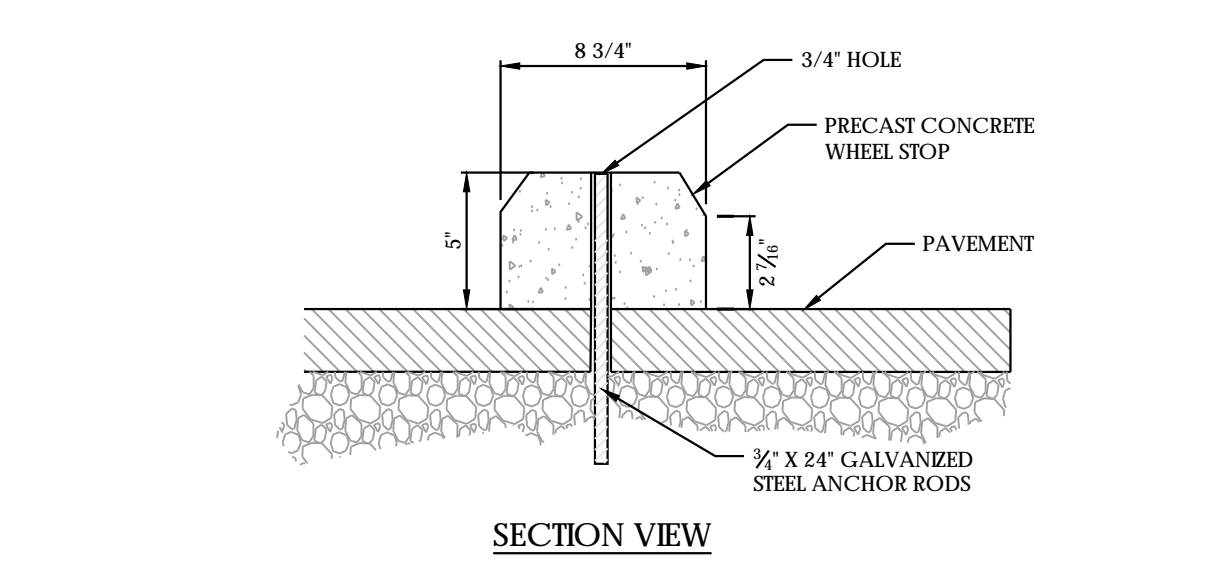
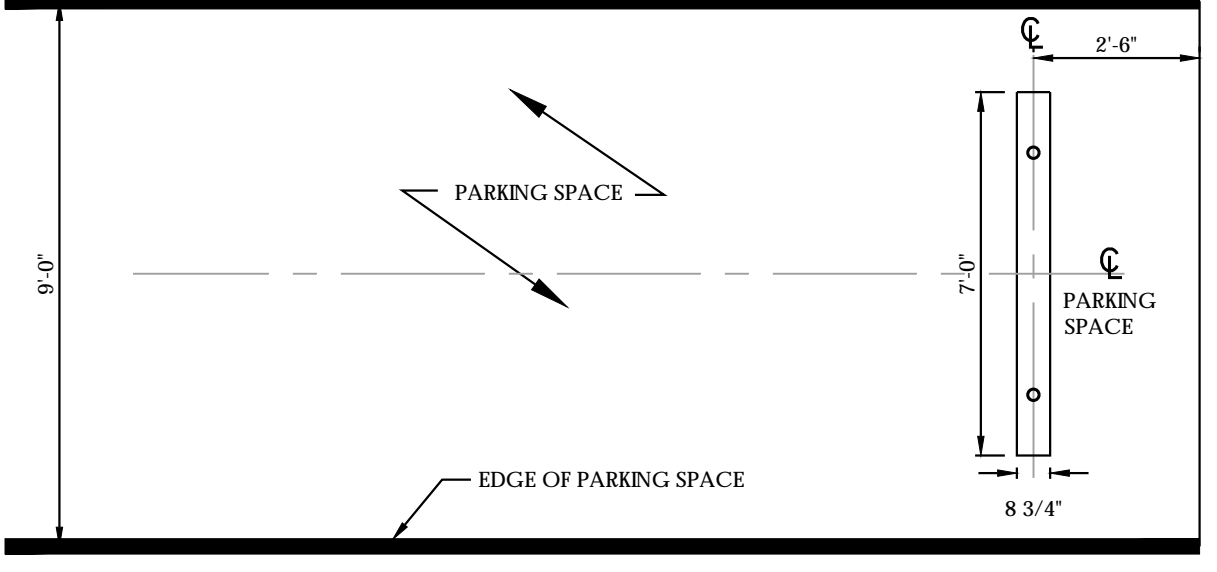
**HEAVY DUTY CONCRETE SECTION**  
SCALE: NTS

2



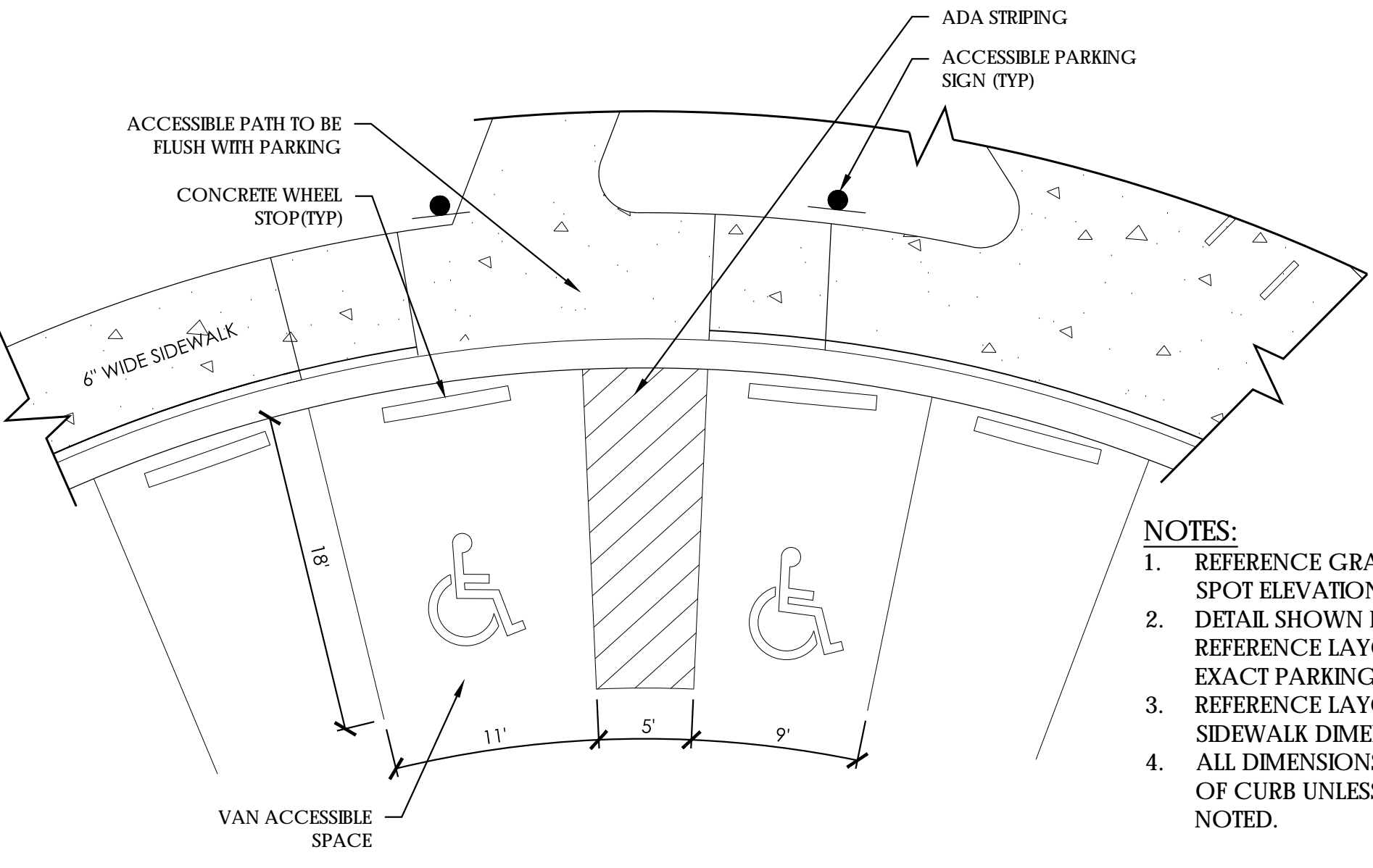
**HEAVY DUTY ASPHALT PAVING DETAIL**  
SCALE: NTS

3



**CONCRETE WHEEL STOP**  
SCALE: NTS

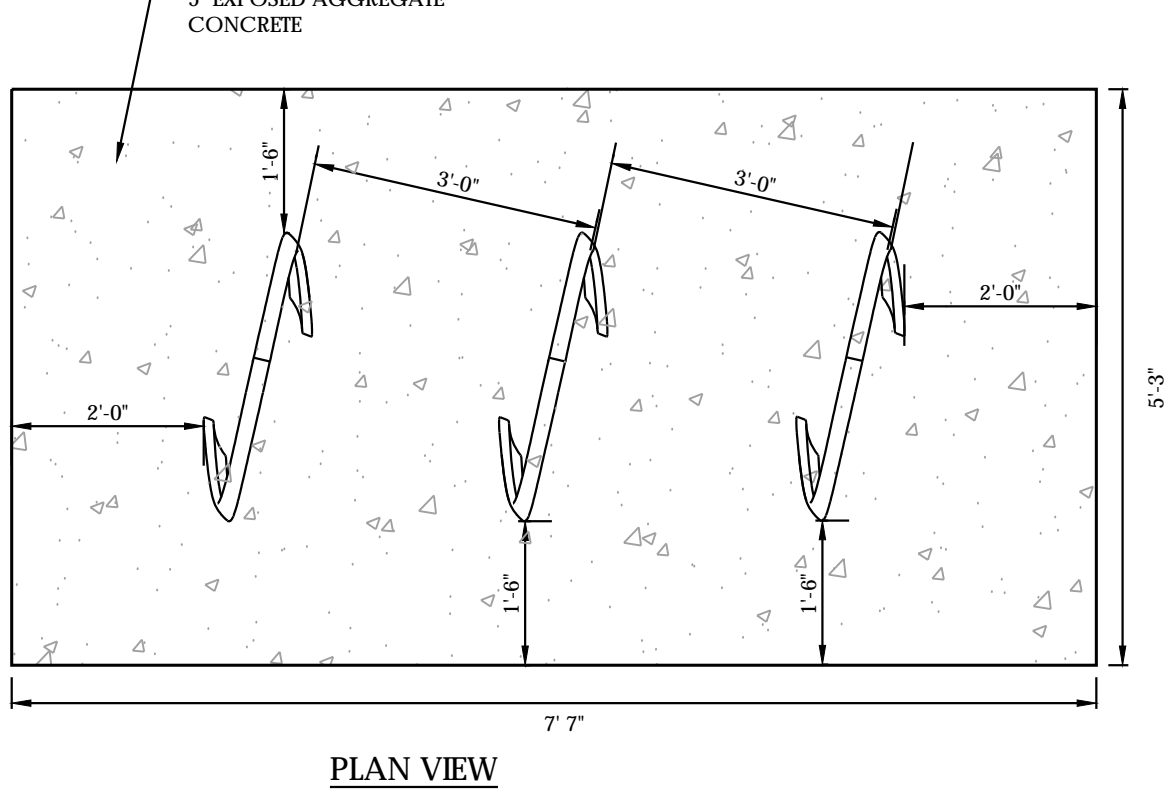
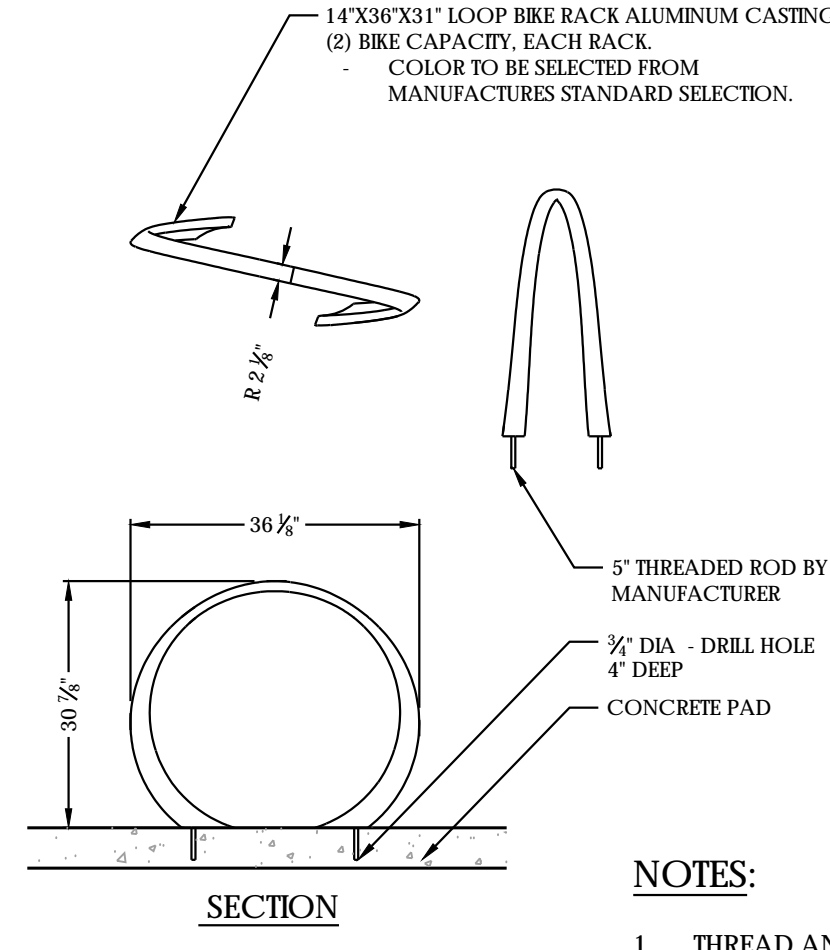
4



- NOTES:**
1. REFERENCE GRADING PLAN FOR SPOT ELEVATIONS.
  2. DETAIL SHOWN IS TYPICAL. REFERENCE LAYOUT PLAN FOR EXACT PARKING SPACE LAYOUT.
  3. REFERENCE LAYOUT PLAN FOR SIDEWALK DIMENSIONS.
  4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.

**ACCESSIBLE PARKING LAYOUT**  
SCALE: NTS

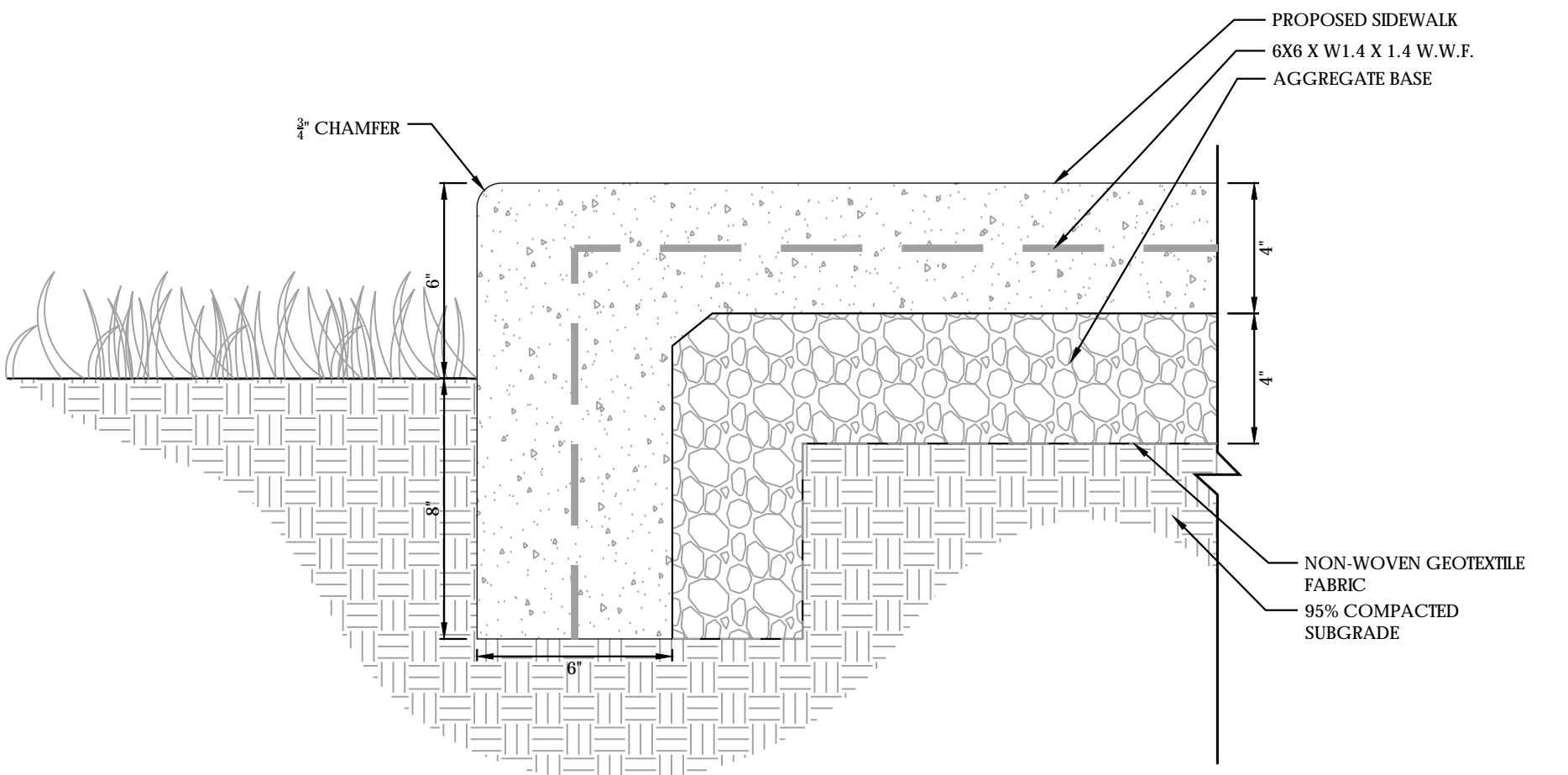
5



- NOTES:**
1. THREAD ANCHOR RODS INTO BIKE RACK.
  2. SET UNIT IN POSITION AND MARK HOLE LOCATION.
  3. MOVE UNIT. DRILL HOLES TO 4" DEPTH. SEE MANUFACTURERS INSTALLATION GUIDE.
  4. CLEAR HOLES OF DEBRIS USING COMPRESSED AIR AND WIRE BRUSH.
  5. TEST FIT UNIT IN POSITION TO BE SURE THREADED RODS ARE NOT RESTING ON THE DRILLED HOLES.
  6. FILL HOLES WITH RECOMMENDED AMOUNT OF ANCHORING ADHESIVE/EPOXY.
  7. SET UNIT IN POSITION.
  8. WIPE AWAY EXCESS EPOXY BEFORE IT CURES.

**BIKE RACK**  
SCALE: NTS

6



**TURNDOWN SIDEWALK**  
SCALE: NTS

7

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**SITE DETAILS**

ISSUE DATE: 11/02/2022

CHECKED BY: L. DICKSON  
 SHEET BY: J. ADRIATICO  
 PROJECT NUMBER: 21-025

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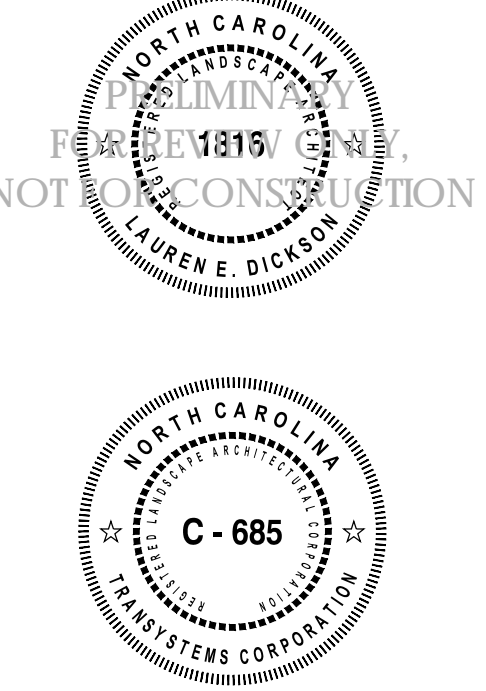
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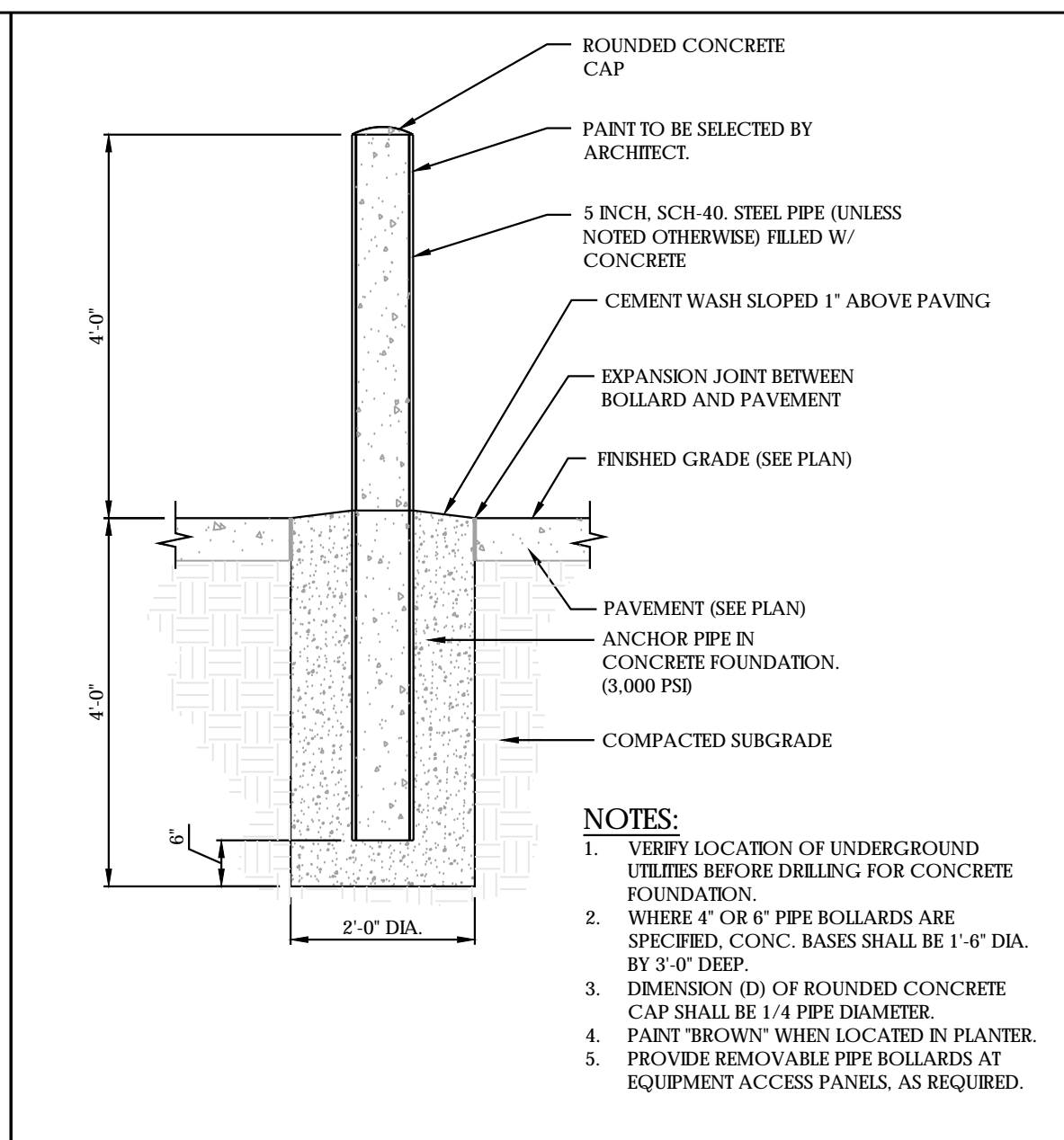
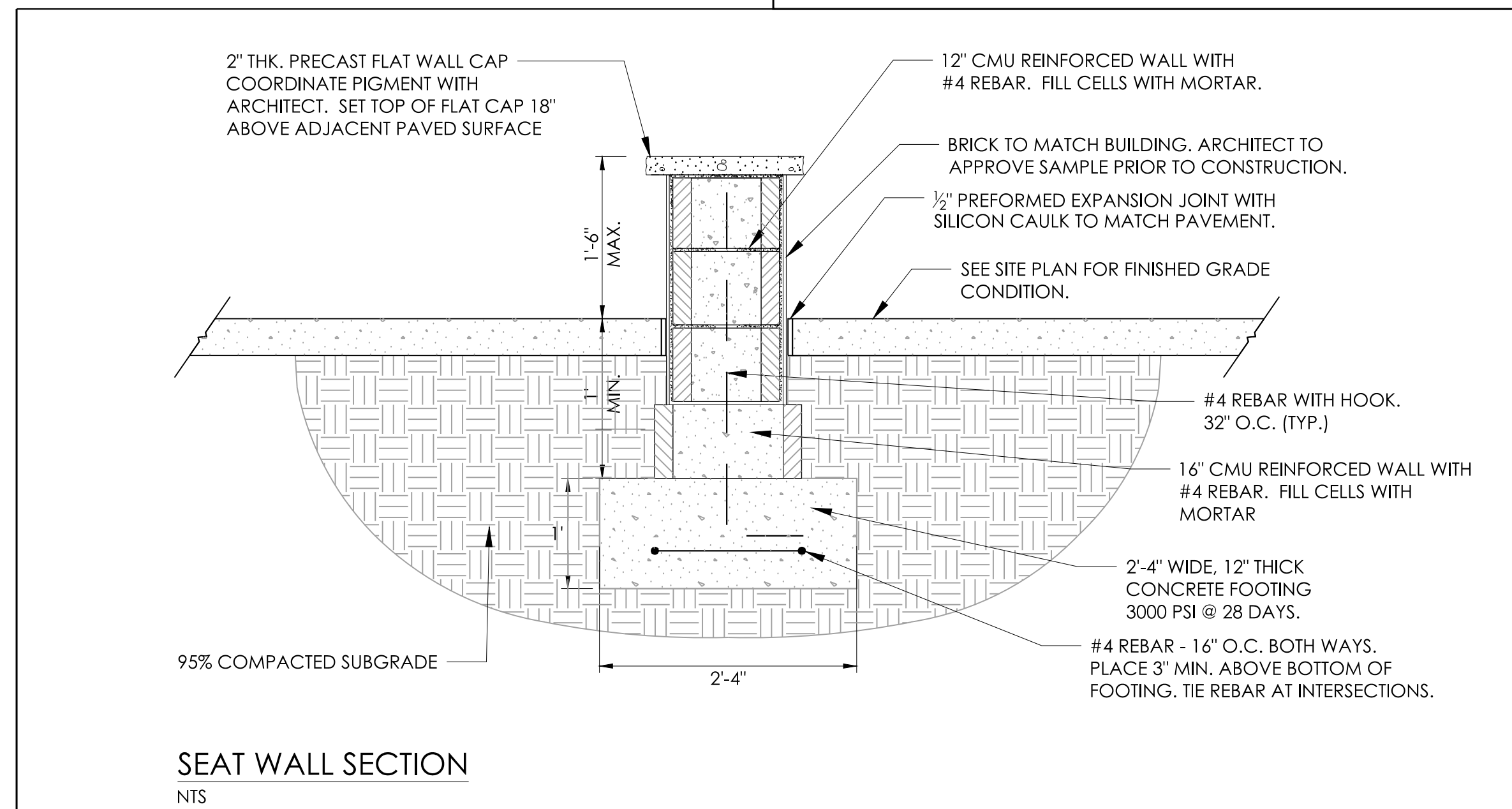
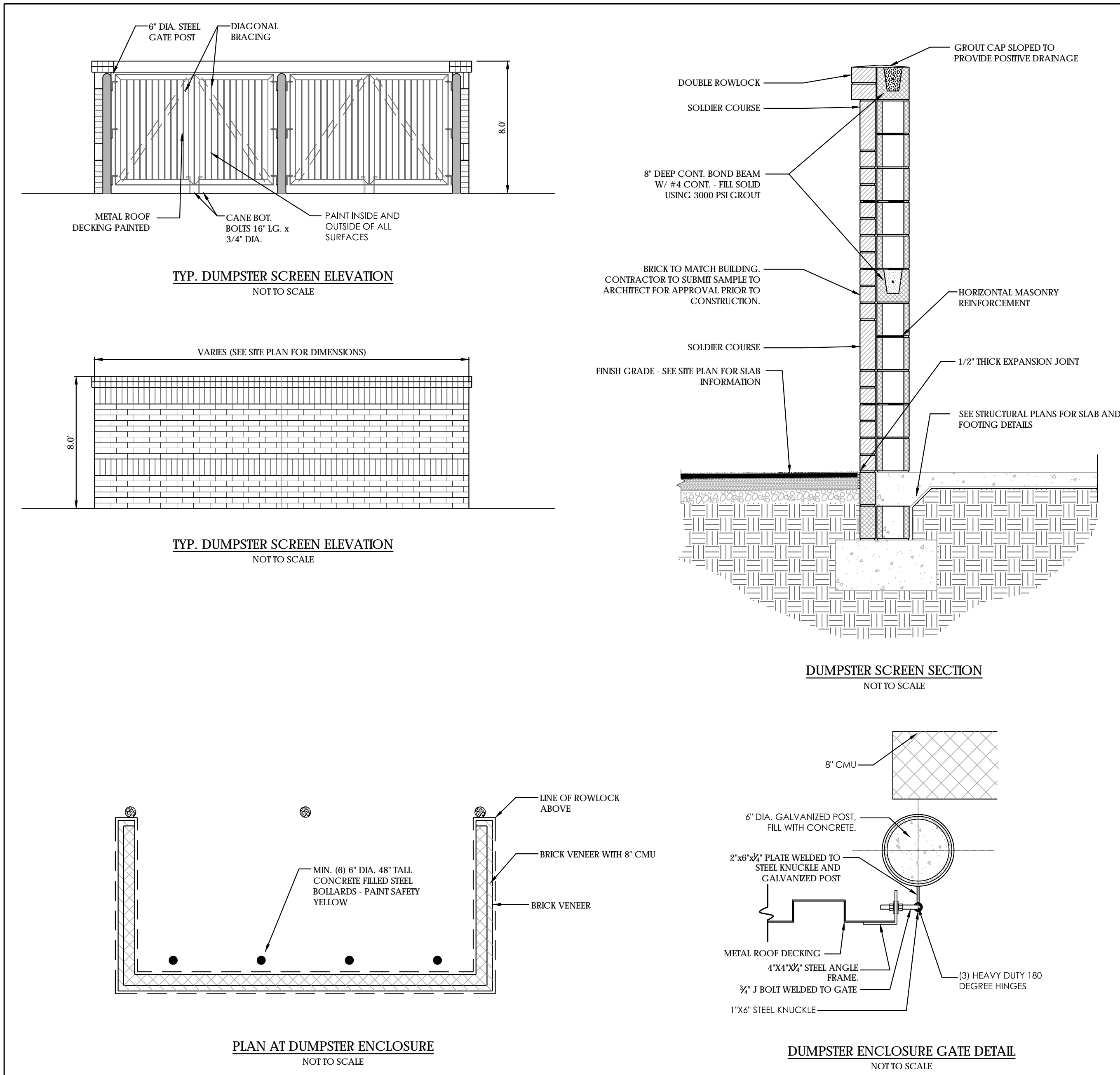
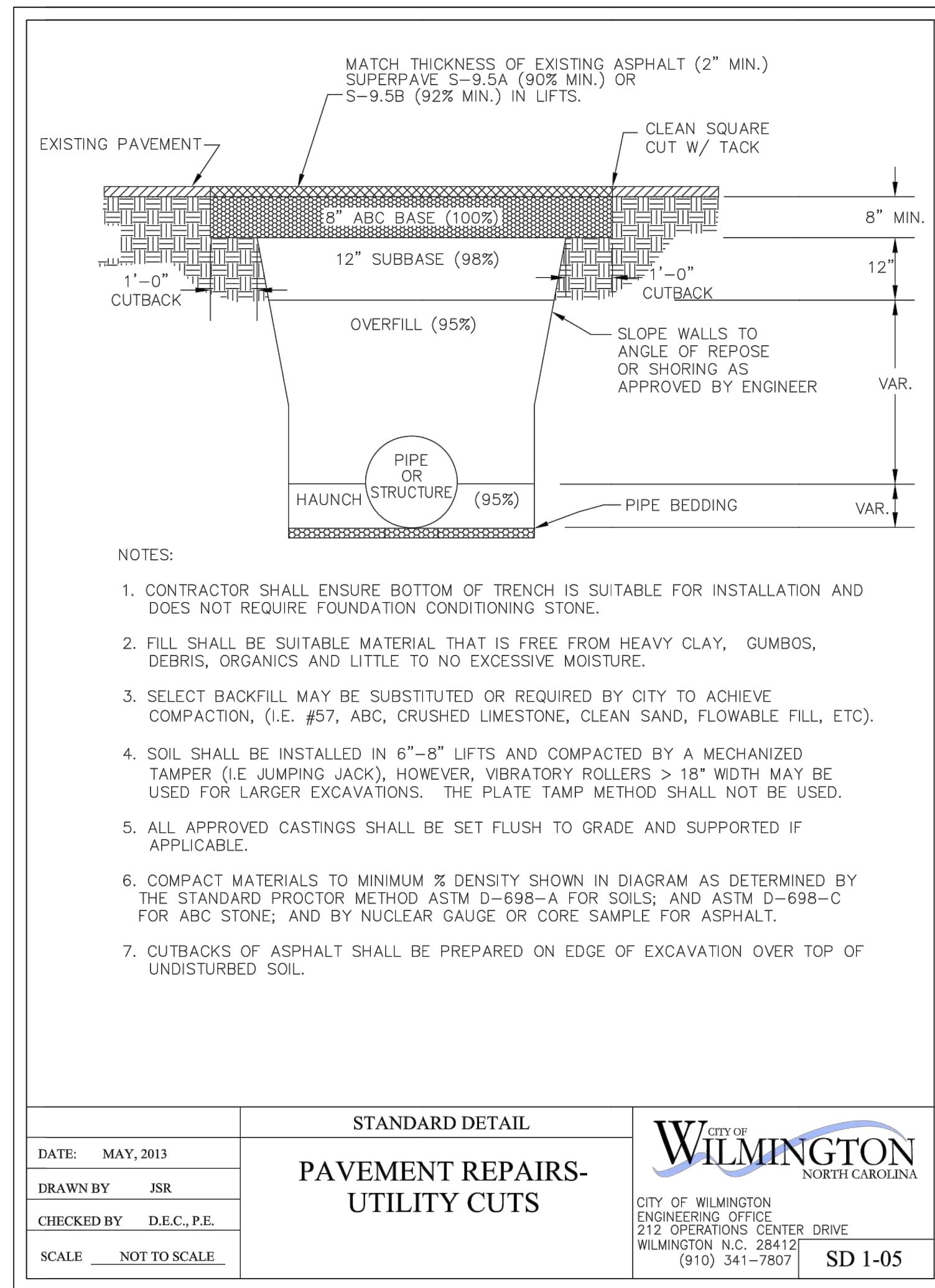
**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

**PERMIT SET**

No.	Description	Date

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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

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**SITE DETAILS**

ISSUE DATE: 11/02/2022

CHECKED: L. DICKSON

DESIGNED BY: J. ADRIATICO

PROJECT NUMBER: 21-025

**CS502**

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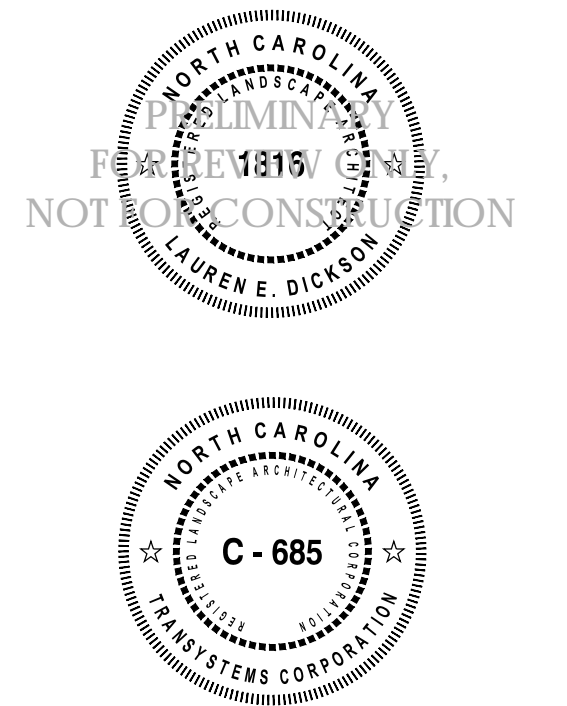
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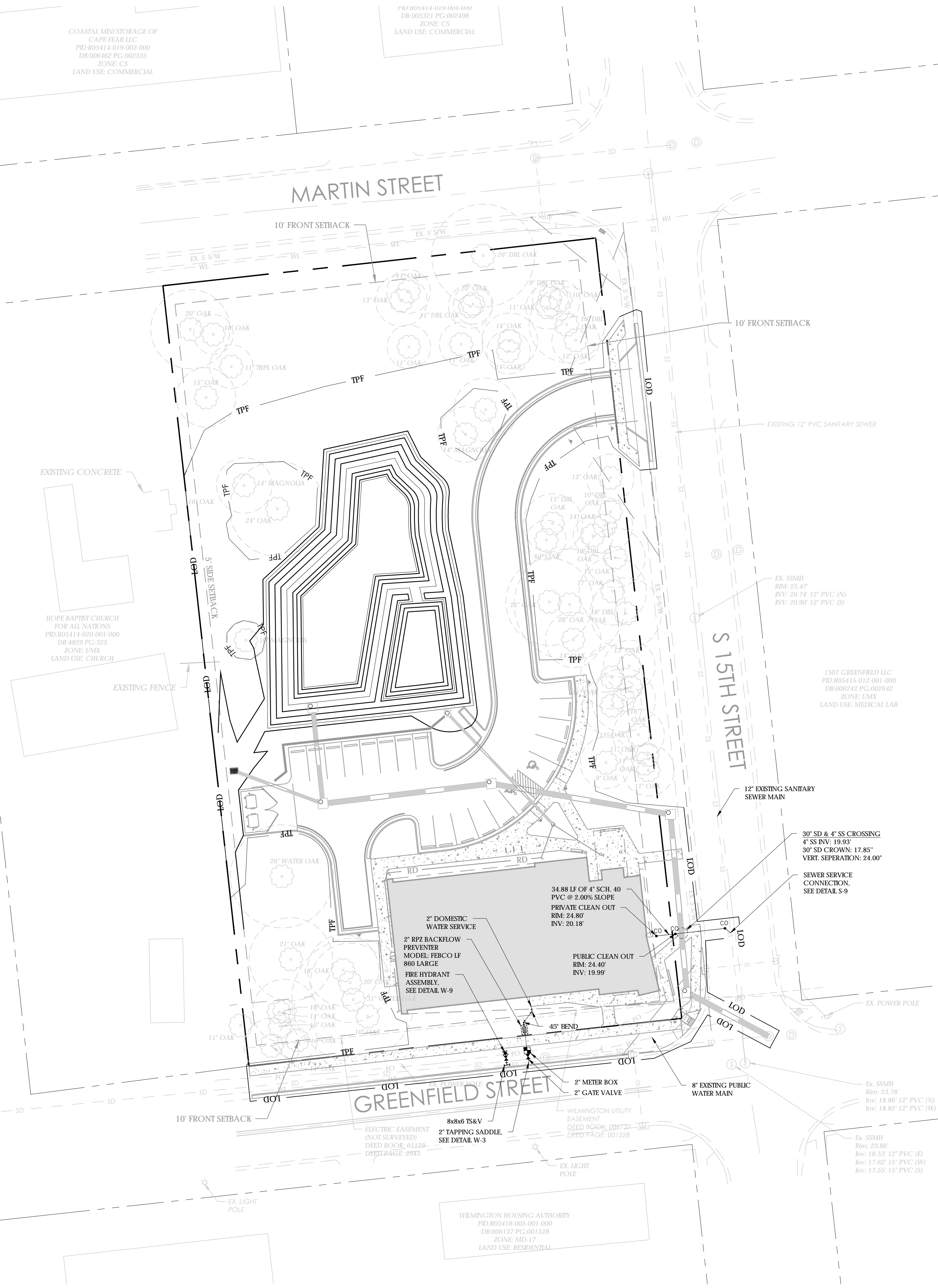
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**UTILITY PLAN**  
Scale: 1" = 30'

**UTILITY NOTES**

- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND BACKFLOW PREVENTER.
- ANY UTILITY CONSTRUCTION SHALL CONFORM TO CFPUA STANDARDS & SPECIFICATIONS.
- CONTRACTOR TO CONTACT UTILITY COMPANIES TO RELOCATE ANY EXISTING UTILITY POLES OR DISTRIBUTION MAINS. ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT. RECOMMEND THAT CONTRACTOR INVESTIGATES ALL POTENTIALLY IMPACTED UTILITIES IMMEDIATELY UPON BEGINNING PROJECT, AND NOTIFIES IMPACTED UTILITY COMPANIES AS SOON AS IT IS DETERMINED THAT RELOCATIONS ARE REQUIRED.
- BACKFLOW PREVENTER PERMIT REQUIRED FOR PROJECT. BACKFLOW PREVENTER INSTALLER MUST CONTACT CFPUA CROSS-CONNECTION CONTROL, DEPARTMENT OF WATER MANAGEMENT AT 910-332-6558 TO OBTAIN PERMIT AND INSTALLATION REQUIREMENTS PRIOR TO INITIATING WORK.
- ALL FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS MUST BE PROVIDED WITH 5" DIAMETER STORZ CONNECTIONS.
- FIRE DEPARTMENT CONNECTIONS MUST BE ORIENTED 45° TOWARD GRADE.
- PROVIDE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION DRAWINGS SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE HYDRANT(S) MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRANT(S).
- FIRE HYDRANTS SHALL BE NO MORE THAN 300' FROM A BUILDING OR HOUSE ALONG AN APPROVED APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE BUILDING OR HOUSE. (ENFORCED AT TIME OF BUILDING PLAN SUBMITAL)
- FOR FIRE APPARATUS LOCATIONS, 150 FEET TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING FROM THE APPARATUS ROAD SURFACE, IS REQUIRED PER THE CURRENT NCFCP.
- APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT 80,000 LBS., WITH A POINT LOAD OF 75 PSL AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, AS REQUIRED BY THE CURRENT NCFCP. DESIGN MUST BE SEALED BY AN ENGINEER SHOWING CALCULATIONS AND ROAD CONSTRUCTION DETAILS.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE CURRENT NCFCP. THIS IS REQUIRED SO THAT VERIFICATION OF THE MINIMUM FIRE FLOW DOES EXIST FROM THE EXISTING/NEW HYDRANTS FOR THE NEW BUILDING TO SUPPLY THE FIREFIGHTING EFFORTS.
- LANDSCAPING AND HARDSCAPING LAYOUT MUST BE ARRANGED TO ALLOW CLEAR VISIBILITY OF ALL FIRE EQUIPMENT UPON APPROACH, WITH READY ACCESS PROVIDED THERETO.
- ABOVE-GROUND UTILITIES TO BE SCREENED.
- A UTILITY MAINLINE CONSTRUCTION PERMIT IS REQUIRED PRIOR TO INSTALLATION OF EACH UTILITY. ALL UTILITIES SHALL SUBMIT PLAN DRAWINGS AND APPLICATIONS TO THE CITY ENGINEERING DIVISION.
- SANITARY SEWER SERVICES SHALL BE 1.0% MINIMUM SLOPE.

**CITY OF WILMINGTON NOTES**

- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
- FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL ALWAYS BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL MULTI-STORY COMMERCIAL BUILDINGS AND ALL SINGLE-STORY COMMERCIAL BUILDINGS EXCEEDING 7,500 SQ/FT THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
- FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPUA STANDARDS.
- WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

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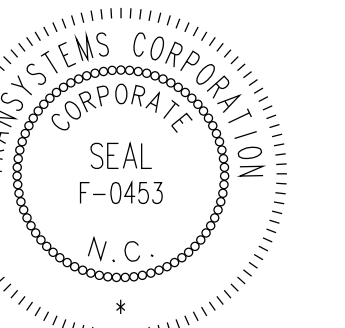
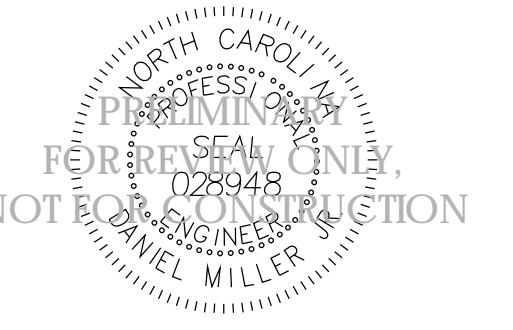
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RALEIGH, NC 27603  
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Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**NOVANT HEALTH  
FAMILY MEDICAL  
CLINIC -  
GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

**PERMIT SET**

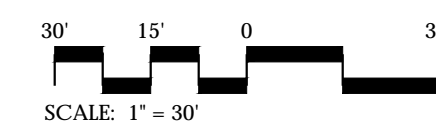
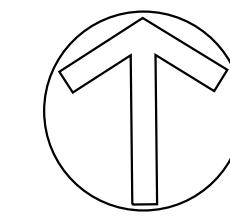
**UTILITY PLAN**

ISSUE DATE 11/02/2022

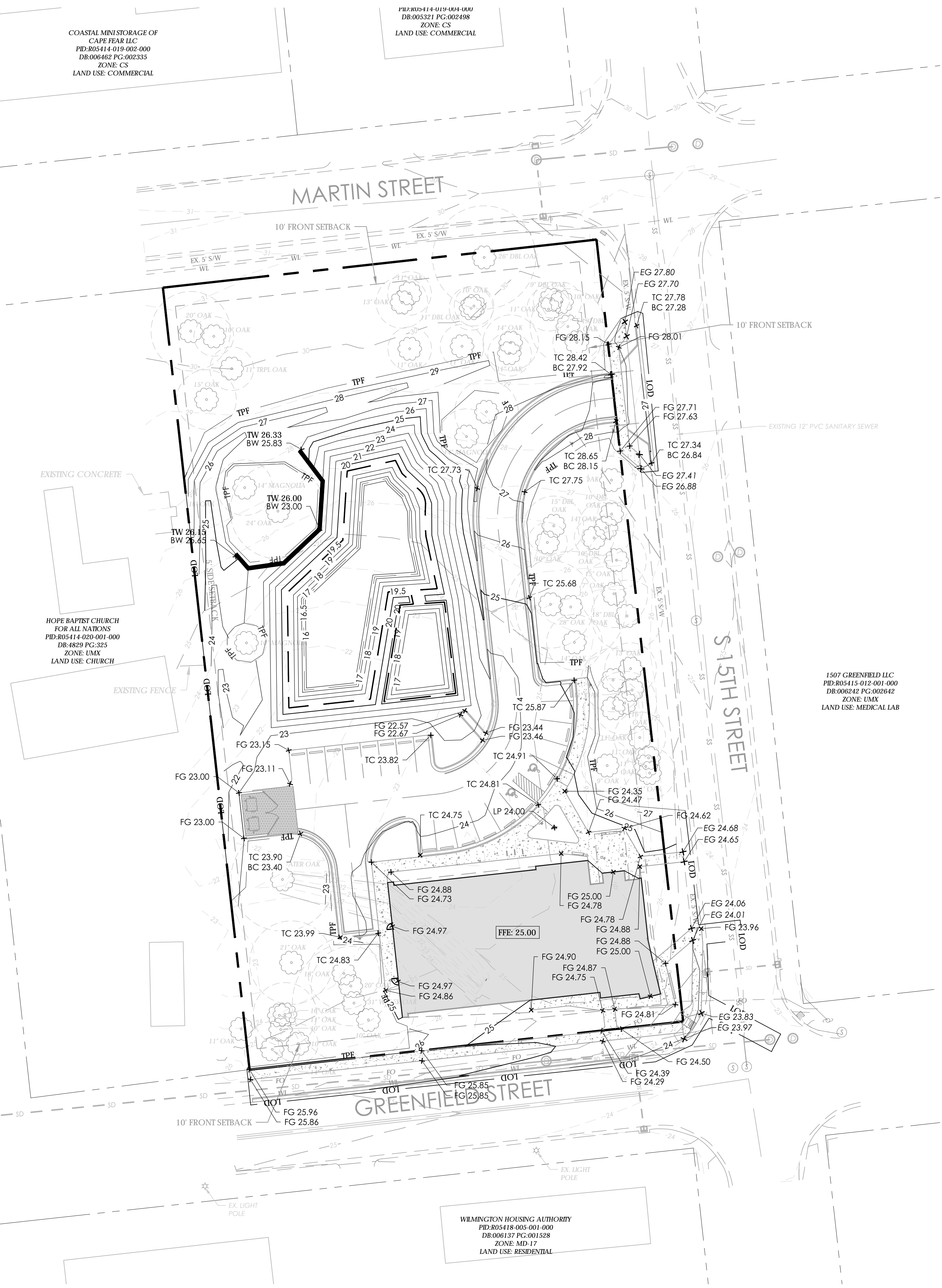
CHECKED  
L. DICKSON  
SHEET BY  
J. ADRIATICO  
PROJECT NUMBER  
21-025

**CU100**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS



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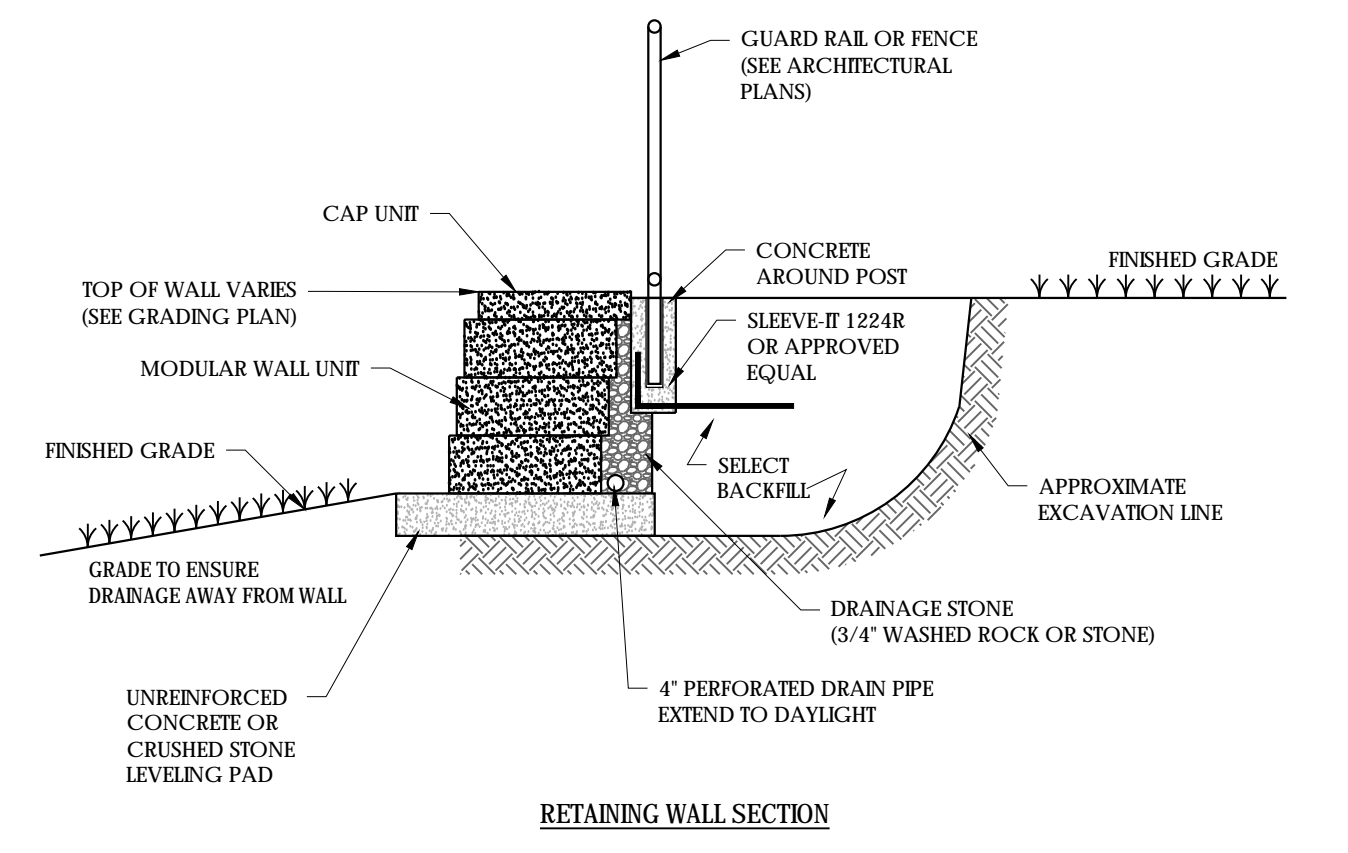
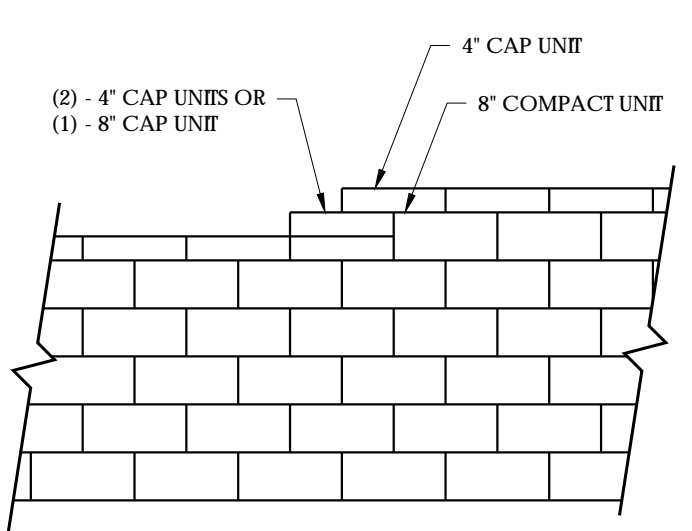


**GRADING PLAN**  
Scale: 1" = 30'

**GRADING NOTES**

- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL HIRE AN INDEPENDENT GEOTECHNICAL ENGINEER, LICENSED IN NORTH CAROLINA, TO PROVIDE THE FOLLOWING SERVICES (CRITICAL GEOTECHNICAL ENGINEERING ITEMS OF CONSTRUCTION MONITORING THAT REQUIRE SPECIAL INSPECTION):
  - EXAMINATION OF FOUNDATION SUBGRADE CONDITIONS
  - SUPERVISION OF SUBGRADE PREPARATION
  - SUPERVISION OF EXCAVATION AND BACKFILL PLACEMENT AND COMPACTION
  - SUPERVISION OF BEDDING, SUBGRADE AND BACKFILL CONSTRUCTION
  - FILL AND PAVEMENT MATERIALS TESTING
  - SUPERVISION OF PAVEMENT CONSTRUCTION
  - ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF IN-PLACE MATERIALS.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE, WITH NO SHARP OR ABRUPT CHANGES.
- ALL FILL TO BE COMPACTED TO 95% DRY DENSITY (STANDARD PROCTOR) UNDER PAVEMENT.
- THE PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS. REFER TO SITE DETAILS TO ESTABLISH CORRECT SUB-BASE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL FLOW BY GRAVITY AWAY FROM BUILDING(S) AND ACROSS NEW PAVEMENT AND/OR LANDSCAPE AREAS TO NEW OR EXISTING STORM DRAIN INLETS, SWALES, DITCHES OR OVERLAND SHEET FLOW.
- TURF SHALL BE ESTABLISHED IN ALL DISTURBED AREAS AND AREAS LEFT UNPAVED AND WITHOUT GRAVEL IN ACCORDANCE WITH THE SPECIFICATIONS AND LANDSCAPE PLANS.
- ALL SLOPES DRAINING TO SCM SHALL BE STABILIZED PER THE NORTH CAROLINA STATE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
- AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

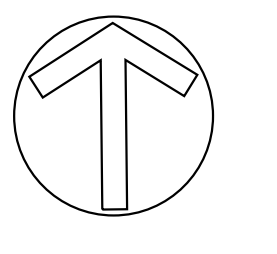
- WALL AND GEOGRID SHALL BE INSTALLED ACCORDING TO THE DESIGN DRAWINGS SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
- SEE SPECIFICATIONS SECTION 02276 FOR WALL BACKFILL MATERIAL REQUIREMENTS. CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH PROVIDING SUITABLE BACKFILL MATERIALS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- DRAIN PIPES SHALL NOT DISCHARGE DIRECTLY ONTO PAVED SURFACES. DRAINS THAT PENETRATE FACE OF WALL SHALL NOT EXTEND MORE THAN 3" FROM FACE OF WALL.
- DETAIL FOR REFERENCE PURPOSES ONLY. WALL TO BE DESIGNED BY STRUCTURAL ENGINEER.



**TYPICAL RETAINING WALL SECTION - PRELIMINARY**  
SCALE: NTS

**GRADING LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS
EG=25.00	EXISTING GRADE SPOT ELEVATION
FG=25.00	PROPOSED FINISH GRADE SPOT ELEVATION
TC=25.00	TOP OF CURB SPOT ELEVATION
BC=25.00	BOTTOM OF CURB SPOT ELEVATION
TW=25.00	TOP OF WALL SPOT ELEVATION
BW=25.00	BOTTOM OF WALL SPOT ELEVATION
FFE=25.00	PROPOSED FINISH FLOOR ELEVATION



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS

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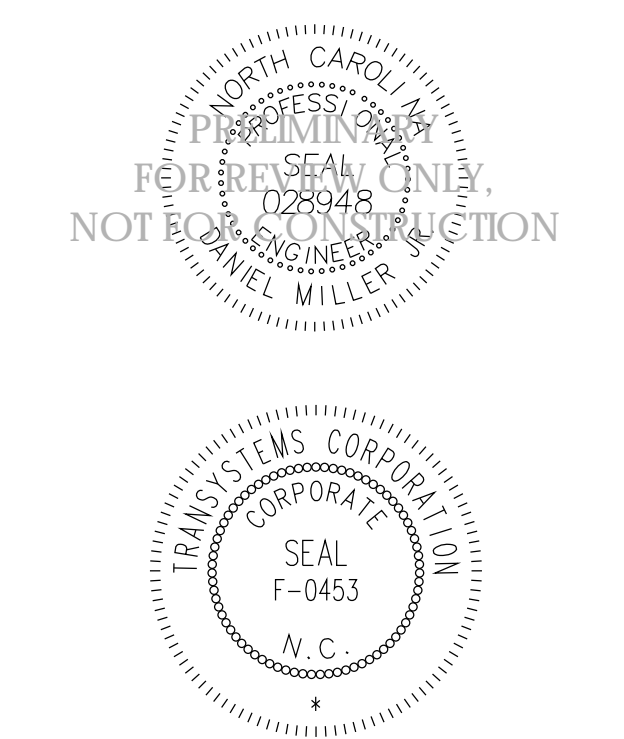
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

**PERMIT SET**

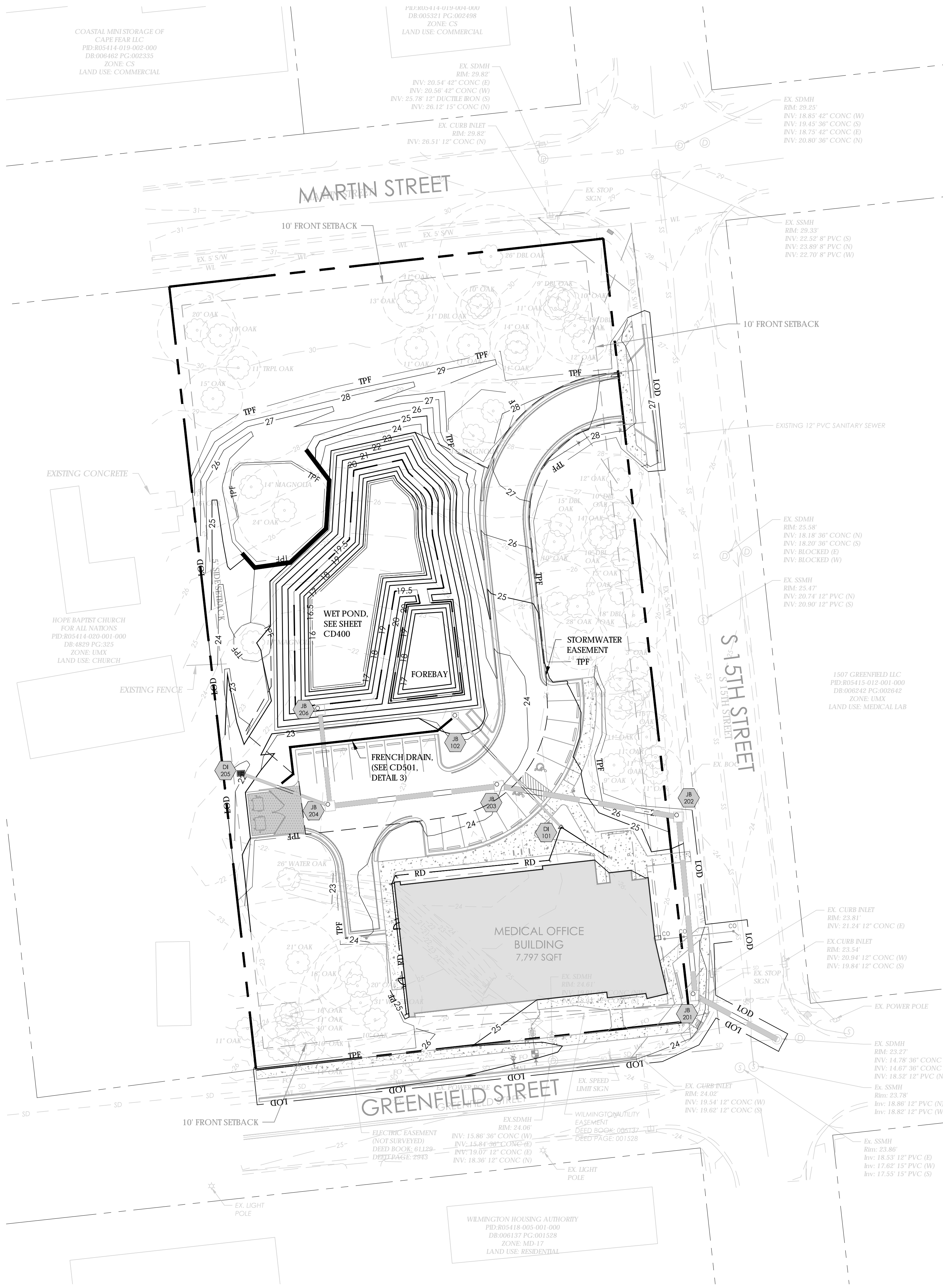
**GRADING PLAN**

ISSUE DATE: 11/02/2022  
CHECKED BY: L. DICKSON  
SHOWN BY: J. ADRIATICO  
PROJECT NUMBER: 21-025

**CG 100**

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STORM DRAINAGE PLAN  
Scale: 1" = 30'

STORM DRAINAGE (SD) PIPE TABLE				
PIPE NAME	SIZE	MATERIAL	LENGTH	SLOPE
SD-101	12"	HDPE	77.3 LF	0.25%
SD-201	30"	HDPE	46.7 LF	0.50%
SD-202	30"	HDPE Pipe	87.0 LF	0.50%
SD-203	30"	HDPE Pipe	90.1 LF	0.50%
SD-204	30"	HDPE Pipe	82.1 LF	0.50%
SD-205	16"	HDPE Pipe	47.7 LF	1.05%
SD-206	24"	HDPE	48.6 LF	0.51%

STORM DRAINAGE (SD) STRUCTURE TABLE	
ID NO.	DETAILS
101 DI	RIM = 24.00 INV OUT = 21.00 (SD P-101)
102 JB	RIM = 22.75 INV IN = 20.81 (SD P-101)
201 JB	RIM = 24.42 INV IN = 14.90 (SD P-202) INV OUT = 14.90 (SD P-201)
202 JB	RIM = 25.50 INV IN = 15.34 (SD P-203) INV OUT = 15.34 (SD P-202)
203 JB	RIM = 23.95 INV IN = 15.79 (SD P-204) INV OUT = 15.79 (SD P-203)
204 JB	RIM = 23.32 INV IN = 17.00 (SD P-205) INV IN = 16.25 (SD P-206) INV OUT = 16.20 (SD P-204)
205 DI	RIM = 21.90 INV OUT = 17.50 (SD P-205)
206 JB	RIM = 22.00 INV OUT = 16.50 (SD P-206)

STORMWATER NOTES

- AT A MINIMUM, THE STORMWATER DESIGN DETAILS FOR THIS PROJECT SHALL BE GOVERNED BY THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE CITY OF WILMINGTON COMPREHENSIVE STORMWATER ORDINANCE DESIGN GUIDELINES, IN EFFECT THE DATE CONSTRUCTION DRAWINGS ARE FIRST RECEIVED FOR REVIEW BY THE CITY OF WILMINGTON.
- FINAL DESIGN CALCULATIONS FOR THE STORMWATER CONTROL MEASURE(S) (SCM(S)) REQUIRE THE USE OF STORAGE INDICATION ROUTING METHODOLOGY SUCH AS TR-20 OR HE-1 MODELS. FOR EACH SCM, AS APPLICABLE, STAGE-STORAGE RELATIONSHIP AND INFLOW AND OUTFLOW HYDROGRAPHS ARE REQUIRED. ALL TABULATED DATA INCLUDING CALCULATIONS SHOWING THE LIMITING DISCHARGE, WHETHER ORIFICE, WEIR, BARREL, OR OUTLET CONTROL, AS APPROPRIATE IS REQUIRED. HYDROCAD, HYDRAFLOW HYDROGRAPHS, AND PONDPACK ARE COMMONLY USED AND RECOGNIZED SOFTWARE PROGRAMS WHICH INCORPORATE ROUTING METHODOLOGY ACCEPTED BY THE CITY.
- STORMWATER CONTROL MEASURE(S) (SCM(S)) PERMIT FEE(S) AND EITHER A PAYMENT INTO THE STORMWATER REPLACEMENT FUND OR THE PROVISION OF AN ALTERNATE SECURITY ARE REQUIRED FOR ALL SCM(S) ASSOCIATED WITH THIS DEVELOPMENT. CONSTRUCTION OF THE DEVELOPMENT IS NOT ALLOWED TO COMMENCE UNTIL THESE ITEMS ARE PROVIDED IN ACCORDANCE WITH CITY STORMWATER STANDARDS OR IN ACCORDANCE WITH WRITTEN AGREEMENT FROM THE DESIGNER. THE DESIGNER SHALL SUBMIT A SEALED ENGINEER'S CONSTRUCTION COST ESTIMATE FOR EVERY SCM PROPOSED IN THE DEVELOPMENT PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS IF A FINANCIAL GUARANTEE IN THE FORM OF PAYMENT INTO THE STORMWATER REPLACEMENT FUND IS UTILIZED.
- AN AS-BUILT CERTIFICATION FOR THE STORMWATER CONTROL MEASURE(S) (SCM(S)), PROVIDED BY THE CERTIFYING ENGINEER OR LANDSCAPE ARCHITECT, IS REQUIRED. THE AS-BUILT CERTIFICATION SHALL BE SUBMITTED IN ACCORDANCE WITH CITY OF WILMINGTON SCM AS-BUILT PROGRAM. REFER TO SECTION 18-752 OF THE CITY OF WILMINGTON CODE OF ORDINANCES AS-BUILT CERTIFICATION REQUIREMENTS FOR SCMS IN THE CITY OF WILMINGTON DESIGN GUIDELINES. THE SCM AS-BUILT CERTIFICATION(S) SHALL BE APPROVED BY THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO ISSUANCE OF ANY FINAL CERTIFICATES OF OCCUPANCY/COMPLIANCE FOR DEVELOPMENT.
- STORMWATER CONTROL MEASURE(S) (SCM(S)) DESIGN CALCULATIONS WILL NOT BE REVIEWED OR APPROVED WITH THE SITE PLAN/PRELIMINARY PLAT SUBMITTAL. ALL SCM DESIGNS WILL BE REVIEWED AND APPROVED DURING THE CONSTRUCTION DRAWING SUBMITTAL PROCESS. IF, AT THE TIME OF CONSTRUCTION DRAWING SUBMITTAL, IT IS FOUND THAT THE PROPOSED SCM(S) IS UNDERSIZED, NOT PROPERLY ACCESSIBLE, OR OTHERWISE INSUFFICIENT OR UNSUITABLE FOR THE SITE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO ENSURE THAT THE APPLICABLE STORMWATER ORDINANCE REQUIREMENTS ARE MET. A REVISED SITE PLAN OR PRELIMINARY PLAT MAY BE REQUIRED IF THE ORIGINALLY PROPOSED SCM(S) ARE FOUND INSUFFICIENT, NOT PROPERLY ACCESSIBLE, OR UNSUITABLE AND ALTERNATIVE SCM(S) WITH ASSOCIATED EASEMENTS ARE REQUIRED.
- THE DEVELOPER/CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO COMMENCING WORK ON ANY STORMWATER CONTROL MEASURE (SCM). IF THE SCM WILL BE CONSTRUCTED INITIALLY AS A SEDIMENTATION AND EROSION CONTROL (S&E) DEVICE, TO BE CONVERTED TO A PERMANENT SCM AT A LATER TIME, THE PRECONSTRUCTION MEETING SHOULD BE SCHEDULED PRIOR TO CONSTRUCTION OF THE S&E DEVICE. CALL [PHONE NUMBER] TO SCHEDULE THE REQUIRED MEETING A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE DESIRED MEETING DATE. THIS IS IN ADDITION TO OTHER PRECONSTRUCTION MEETING REQUIREMENTS FOR EROSION CONTROL, ENGINEERING INSPECTIONS, ETC.
- TO RECEIVE SITE PLAN/PRELIMINARY PLAT APPROVAL FOR DEVELOPMENTS OTHER THAN SINGLE FAMILY DETACHED, TOWNHOME AND DUPLEX RESIDENTIAL DEVELOPMENTS THAT ARE MAKING USE OF NUTRIENT BANKS OR NCEP, THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT IS CONTINGENT UPON THE PURCHASE OF NUTRIENT CREDITS. IF A REVISED SITE PLAN/PRELIMINARY PLAT IS SUBMITTED FOR THIS DEVELOPMENT, THE REVISED SITE PLAN/PRELIMINARY PLAT WILL BE SUBJECT TO ANY ORDINANCES IN PLACE AT THE TIME OF THE REVISED SITE PLAN/PRELIMINARY PLAT SUBMISSION. PRIOR TO THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT, A LETTER RECEIPT SHOWING THE PURCHASE OF THE NUTRIENT CREDITS FOR THIS DEVELOPMENT AND A COPY OF THE NUTRIENT BANK LEDGER IF APPLICABLE, SHOWING THE TOTAL NUTRIENT CREDITS AVAILABLE MINUS ANY AND ALL DEDUCTIONS, IS TO BE PROVIDED TO THE STORMWATER DEVELOPMENT REVIEW SECTION.
- WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

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Professional Engineer Seal for J. Adriatico, No. 028049, State of North Carolina. The seal is circular with the text "NORTH CAROLINA PROFESSIONAL ENGINEER SEAL NO. 028049 STATE OF NORTH CAROLINA" around the perimeter and "J. ADRIATICO" in the center.

Professional Engineer Seal for J. Dickson, No. F-0453, State of North Carolina. The seal is circular with the text "TRANSYSTEMS CORPORATION CORPORATE SEAL F-0453 N.C." around the perimeter.

**811** 3 WORKING DAYS BEFORE YOU DIG  
FOR THE LOCATION OF UNDERGROUND FACILITIES

Know what's below. Call before you dig.

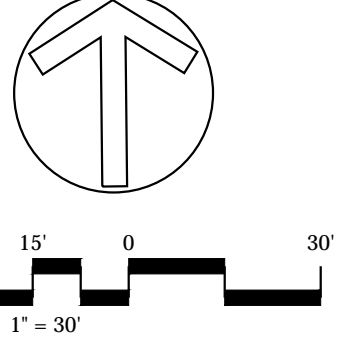
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**  
1423 GREENFIELD STREET, WILMINGTON, NC

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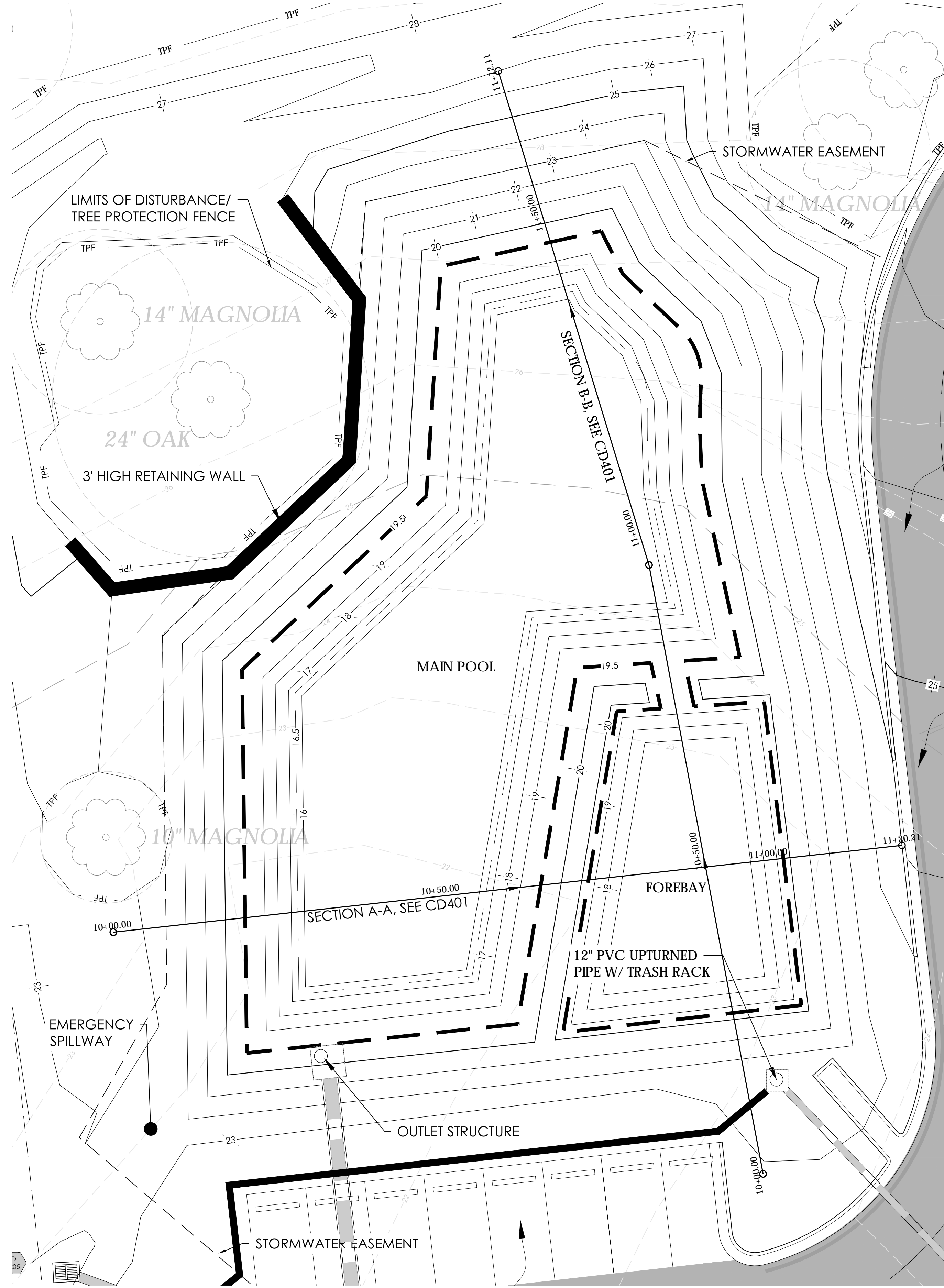
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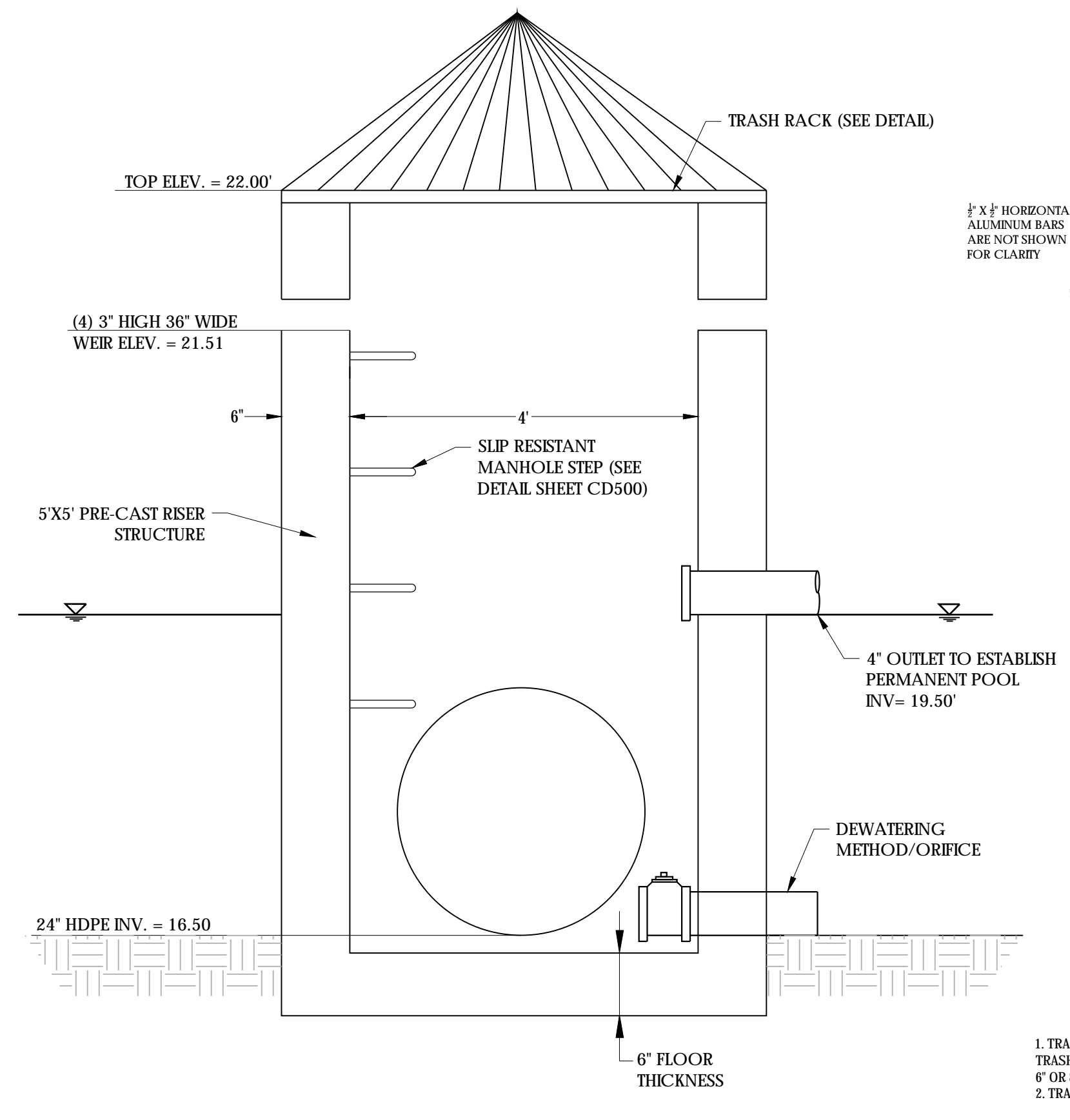
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS

**STORM DRAINAGE PLAN**  
ISSUE DATE 11/02/2022

CHECKED L. DICKSON  
SHEET BY J. ADRIATICO  
PROJECT NUMBER CD100-21-025



**WET POND PLAN**



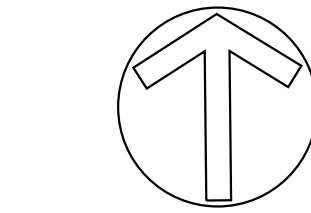
**WET POND OUTLET CONTROL STRUCTURE**  
NOT TO SCALE

**STORMWATER CONTROL MEASURE (SCM) NOTES**

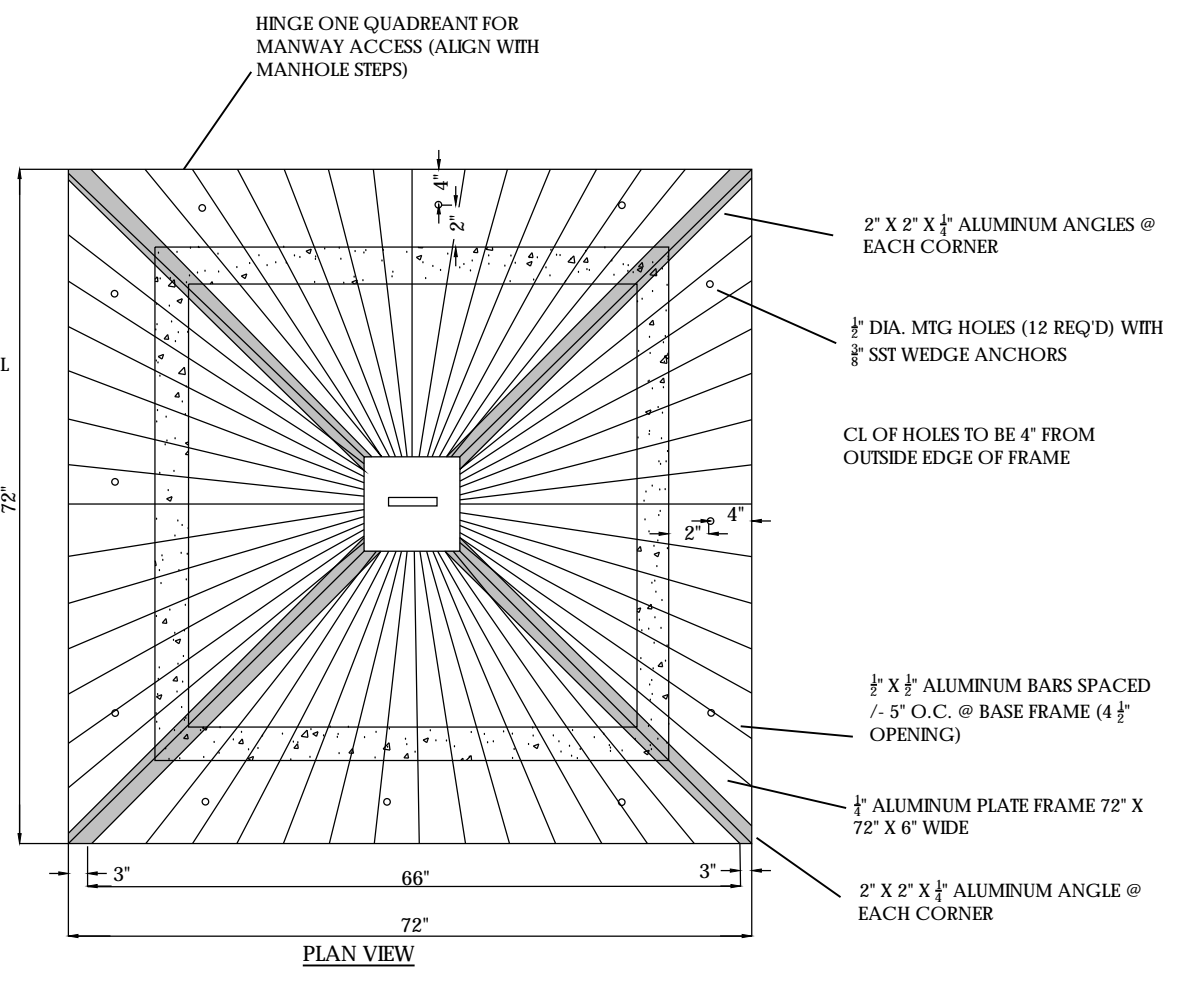
1. PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON AND THE STATE OF NORTH CAROLINA DIVISION OF WATER RESOURCES STORMWATER BMP MANUAL, STANDARDS AND SPECIFICATIONS.
3. LANDSCAPING PLANTINGS SHOWN ON THE LANDSCAPE PLAN SHALL BE INSTALLED DURING FALL SEASON OR EARLY SPRING IF POSSIBLE FOR MAXIMUM PLANT SURVIVABILITY. CONTRACTOR TO ORDER PLANTS WELL IN ADVANCE OF PLANTING TO ENSURE AVAILABILITY / COORDINATION OF ALTERNATES; PLANTS MUST BE PURCHASED FROM A LOCAL NURSERY.
4. THE CONTRACTOR SHALL WARRANT ALL PLANTED MATERIALS FOR A PERIOD OF 2 YEARS FROM DATE OF INSTALLATION. AT THE END OF THE FIRST YEAR AND AT THE END OF THE SECOND YEAR, THE CONTRACTOR SHALL REPLACE ALL PLANTS WHICH DID NOT SURVIVE. ANY HEALTHY PLANTS DAMAGED DURING PLANT REPLACEMENT SHALL ALSO BE REPLACED.
5. SEE LANDSCAPE PLANS FOR SOD SPECIFICATIONS, AND SITE DRAINAGE SCHEDULES FOR ADDITIONAL STRUCTURE TOPS AND PIPE INVERT ELEVATIONS.
6. PRINCIPAL SPILLWAY PIPE SHALL HAVE A MINIMUM PIPE STRENGTH CONFORMING TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) C-76, CLASS III STANDARDS.
7. THE CONTRACTOR SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL EMBANKMENTS AND FILL PLACEMENT FOR PROPER COMPACTION. PROPER COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR THESE PLANS, WHICHEVER IS MORE STRINGENT. EMBANKMENTS FOR BMP'S SHALL BE PLACED IN 6 INCH LOOSE LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF THE OUTLET STRUCTURE AT ALL PHASES OF INSTALLATION AND SHALL RETAIN WITH GEOTECHNICAL TESTING DATA. THE CONTRACTOR SHALL ALSO RETAIN ALL SHIPPING RECORDS AND SPECIFICATIONS FOR THE OUTLET STRUCTURE MATERIALS AND STRUCTURES. ALL OF THE ABOVE DATA MAY BE REQUIRED AS PART OF THE MUNICIPALITY AS-BUILT PROCESS AND SHALL BE MADE AVAILABLE TO THE ENGINEER UPON REQUEST. THE CONTRACTOR AND OWNER SHALL HAVE DOCUMENTATION OF THESE TESTS AVAILABLE UPON REQUEST.
8. TOLERANCES FOR FINAL GRADES SHALL BE WITHIN +/- 0.10 FEET. AN AS-BUILT SURVEY OF THE WET POND WILL BE REQUIRED. THEREFORE, STRICT ADHERENCE TO THE GRADING ON THIS PLAN AND THE TOLERANCES SPECIFIED HEREON SHALL BE REQUIRED PRIOR TO CERTIFICATION BY THE ENGINEER. UPON COMPLETION OF THE FINAL GRADING (PRIOR TO PLACEMENT OF ANY PLANT MATERIAL) THE CONTRACTOR SHALL CONTACT THE SURVEYOR TO SURVEY THE AS-BUILT WET POND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER THAT THE WET POND FACILITY HAS BEEN COMPLETED AND THE ENGINEER SHALL EVALUATE THE AS-BUILT SURVEY DATA FOR COMPLIANCE WITH THESE DRAWINGS. IF THE WET POND FACILITY IS FOUND TO BE OUT OF COMPLIANCE WITH THESE DRAWINGS, THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY TO BRING THE WET POND FACILITY INTO COMPLIANCE WITH THESE DRAWINGS. THE COST OF ANY ADDITIONAL SURVEYING FOR ENGINEERING EVALUATION REQUIRED RESULTING FROM INCOMPLETE OR INCORRECT GRADING OF THE WET POND FACILITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED AND INSPECTION APPROVED PRIOR TO BEGINNING GENERAL SITE WORK, INCLUDING GENERAL CLEARING, GRUBBING, AND GRADING.
10. BOTH FOREBAY AND EMERGENCY SPILLWAY SLOPES SHALL HAVE 18" THICK CLASS 'A' STONE.
11. BEGINNING OF FOREBAY SHOULD BE 4" DEEPER THAN END OF FOREBAY.

**STORMWATER CONTROL MEASURE CONSTRUCTION SEQUENCE**

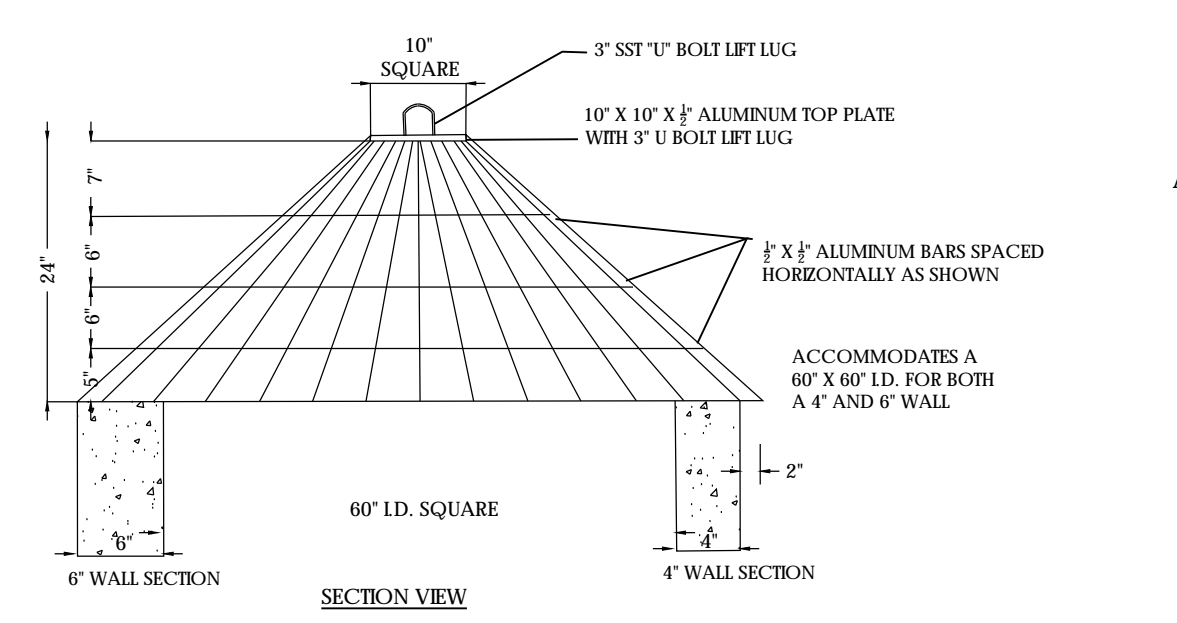
1. UNDER NO CIRCUMSTANCES SHALL THE WET POND BE FINALIZED AND PLANTED BEFORE THE COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL AREAS WHICH DRAIN TO IT. NOTIFY THE ENGINEER 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ON THE WET POND AND SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENGINEER TO REVIEW DETAILS OF THE CONSTRUCTION REQUIREMENTS.
2. IF THE WET POND HAS BEEN PREVIOUSLY ROUGH GRADED, REMOVE AND DISPOSE OF SEDIMENT DEPOSITS WITHIN EXCAVATED BASIN.
3. STRIP TOPSOIL AND DISPOSE OF OFFSITE, OR STOCKPILE FOR SUBSEQUENT SCREENING AND PLACEMENT ELSEWHERE ONSITE. ONSITE STOCKPILE SHALL BE ENCLOSED BY SILT FENCE.
4. EXCAVATE AND ROUGH GRADE THE WET POND AREAS TO THE DESIGN DIMENSIONS. ALL FILL PLACEMENT SHALL BE IN COMPLIANCE WITH THE SPECIFICATION IN THE CONSTRUCTION NOTES ON THIS SHEET.
5. INSTALL CLAY LINER AND ARMORED SECTIONS OF FOREBAY WEIRS.
6. INSTALL OUTLET STRUCTURE SYSTEM IN THE BOTTOM OF THE EXCAVATION AS SHOWN ON THE PLANS.
7. PROVIDE LANDSCAPING IN COMPLIANCE WITH THE WET POND PLANTING PLAN. IF TIMING IS SUCH THAT PLANTINGS WOULD OCCUR IN SUMMER MONTHS, COORDINATE WITH THE ENGINEER AND NCDQ REGARDING ALTERNATE PLANTINGS FOR MAXIMUM SURVIVABILITY OF PLANTS.
8. STABILIZE THE SLOPES DRAINING TO THE WET POND AREA WITH GRASS SOD, OR SURROUND THE AREA WITH SILT FENCE TO PREVENT SEDIMENT FROM CONTAMINATING THE SOIL MIXTURE. SEED ALL ADDITIONAL DISTURBED AREAS PER THE SEEDING SCHEDULE SHOWN ON THE LANDSCAPE PLAN.
9. CALL NCDQ EROSION CONTROL INSPECTOR FOR APPROVAL OF EROSION CONTROL STABILIZATION.
10. AFTER COMPLETING ALL PLANTINGS AND SEEDINGS, FERTILIZE ENTIRE WET POND AS RECOMMENDED BY USDA SOIL TESTING RECOMMENDATIONS. FERTILIZING SHALL OCCUR ONLY DURING THE FIRST YEAR, THEREAFTER NO FERTILIZING SHALL BE ALLOWED.
11. CONTRACTOR SHALL WATER NEW PLANT MATERIAL PLANTED IN THE WET POND DAILY UNTIL COMPLETION OF ALL OTHER SITE RELATED CONSTRUCTION HAS BEEN COMPLETED. AFTER THE FULL SCOPE OF THE CONTRACTOR'S WORK IS COMPLETED, IT SHALL BE THE OWNER'S RESPONSIBILITY TO WATER PLANTS DAILY UNTIL PLANTS HAVE BECOME WELL ESTABLISHED AND WATERING IS NO LONGER NECESSARY.
12. FILL POND AND MONITOR SURFACE ELEVATION FOR 48 HOURS. WATER SURFACE SHALL REMAIN WITHIN ONE INCH OF PERMANENT POOL ELEVATION. IF WATER LEVEL DROPS ONE INCH, NOTIFY ENGINEER AND INVESTIGATE OUTLET BARREL, OUTLET STRUCTURE, AND EMBANKMENT FOR LEAKS OR DEFECTS. MAKE REPAIRS IF REQUIRED AND FILL POND AND REPEAT WATER EVALUATION MONITORING. IF WATER LEVEL REMAINS WITHIN TOLERANCE, NOTIFY ENGINEER AND PERFORM DETAILS TOPOGRAPHIC SURVEY.
13. CONTACT CITY OF WILMINGTON STORMWATER ENGINEER TO OBTAIN FINAL BMP INSPECTION AND APPROVAL.



SCALE: 1" = 10'



**TRASHRACK 5'X5' RISER**  
NOT TO SCALE



1. TRASH RACK DETAIL BASED ON POMONA PIPE PRODUCTS' STANDARD ALUMINUM BAR & ANGLE PEAKED ROOF TRASH RACK WITH ONE QUADRANT HINGED FOR MANWAY ACCESS TO FIT 60" X 60" LD. CONCRETE RISER WITH 6" OR 8" THICK WALLS
2. TRASH RACK TO BE POWDER-COATED BLACK

**811**  
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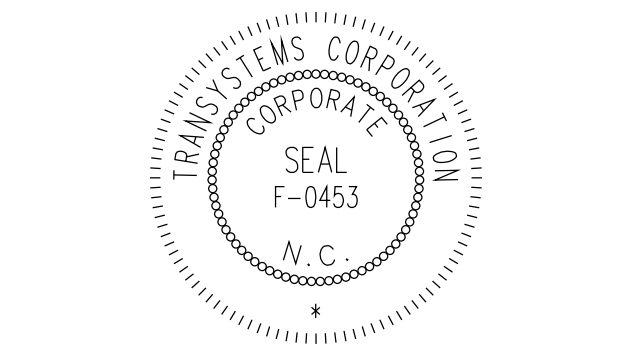
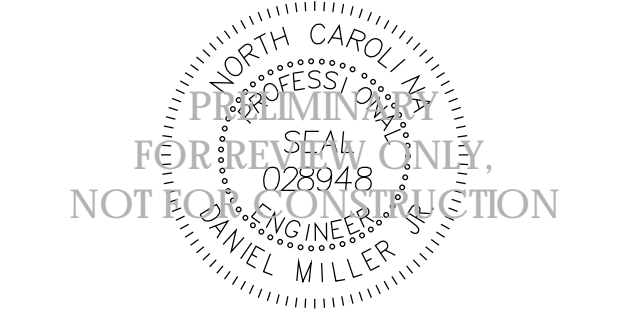
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**  
1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

**PERMIT SET**

**STORM DRAINAGE ENLARGEMENT**

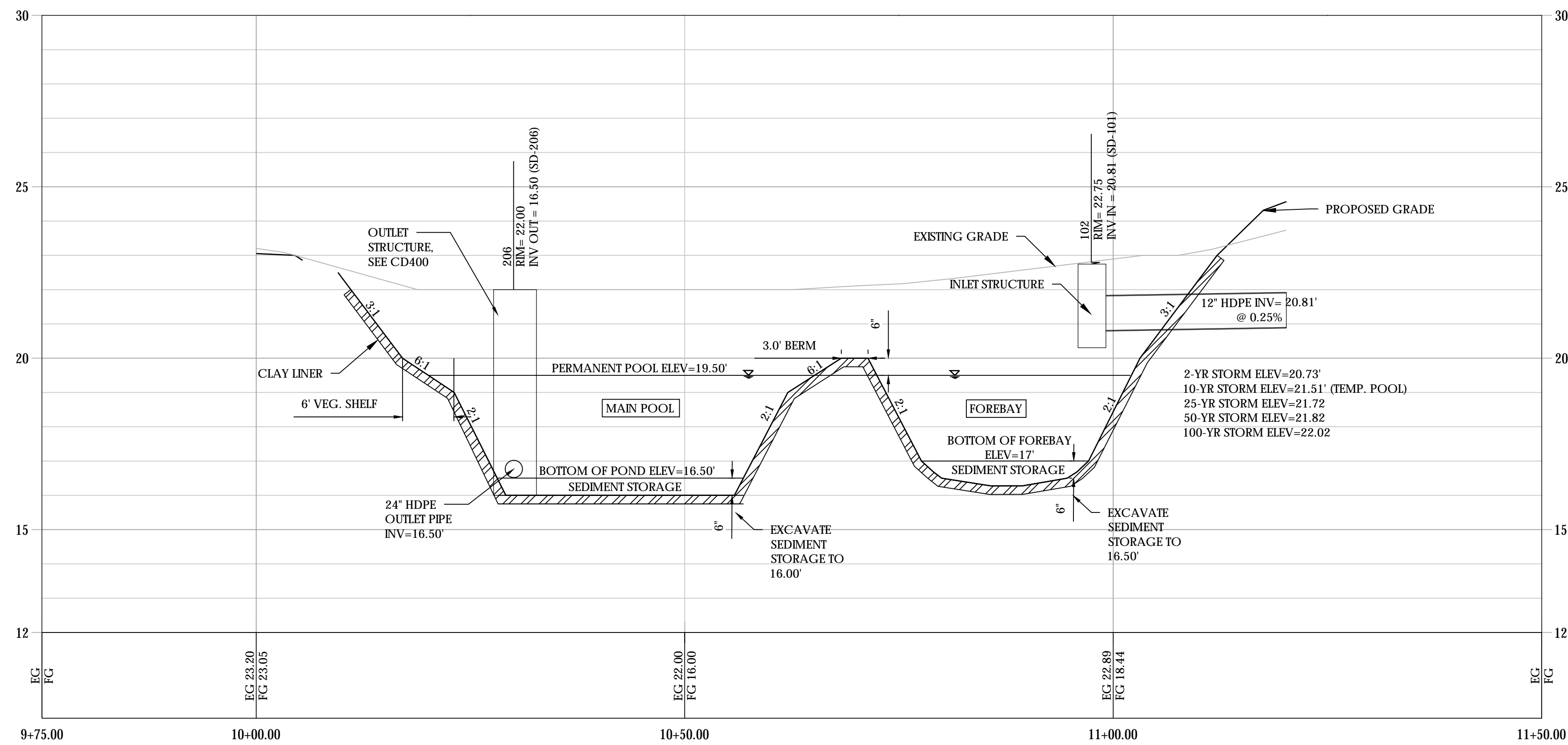
ISSUE DATE: 11/02/2022

CHECKED BY: L. DICKSON  
DESIGNED BY: J. ADRIATICO  
PROJECT NUMBER: CD400-21-025

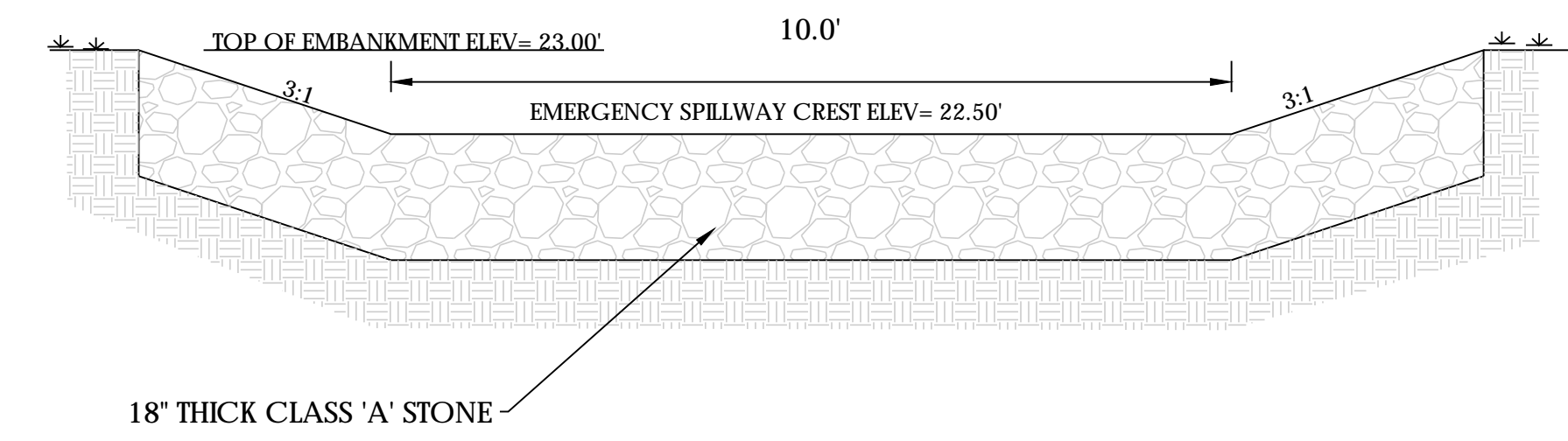
**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS**

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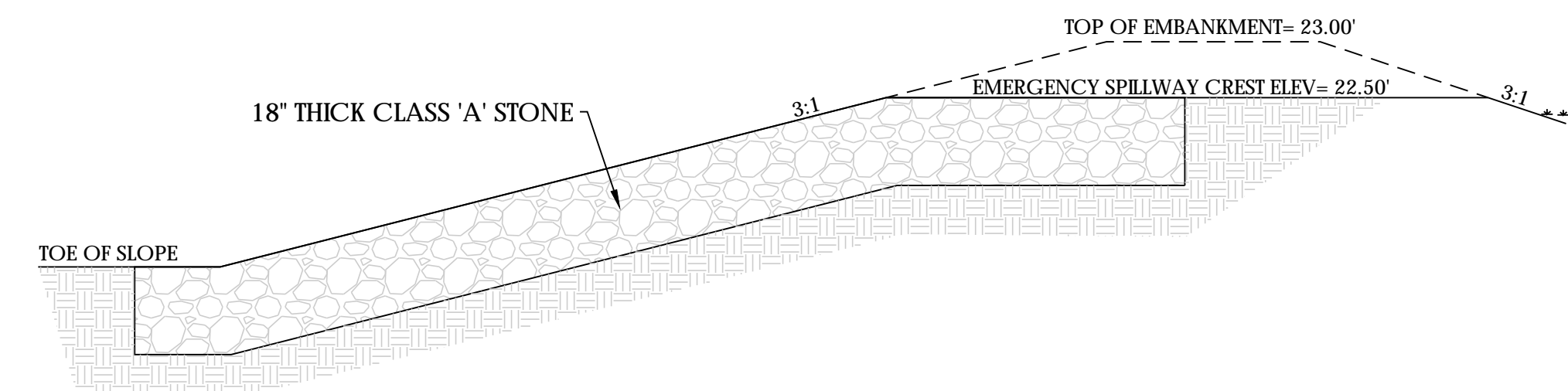
### Wet Pond Section A-A



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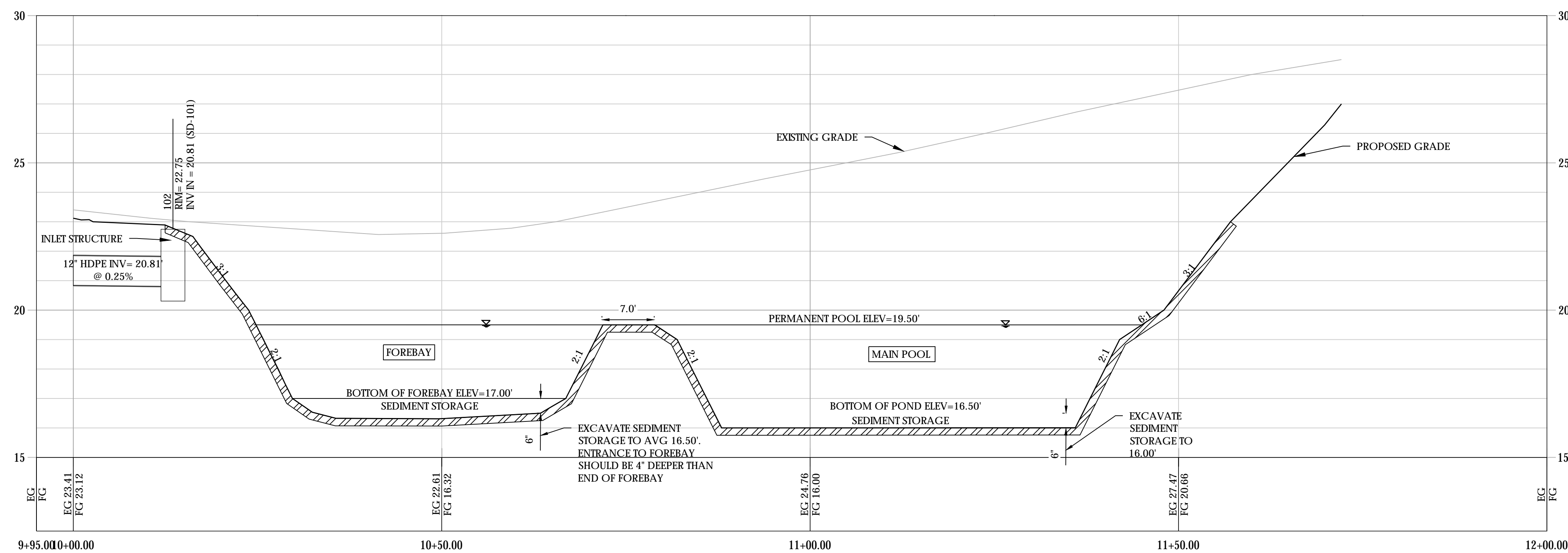


EMERGENCY SPILLWAY SECTION  
SCALE = 1:2



EMBANKMENT SECTION EMERGENCY SPILLWAY SECTION  
NTS

### Wet Pond Section B-B



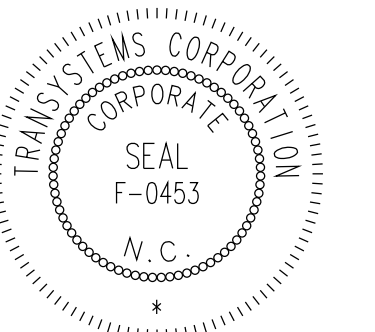
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

WET POND DETAIL

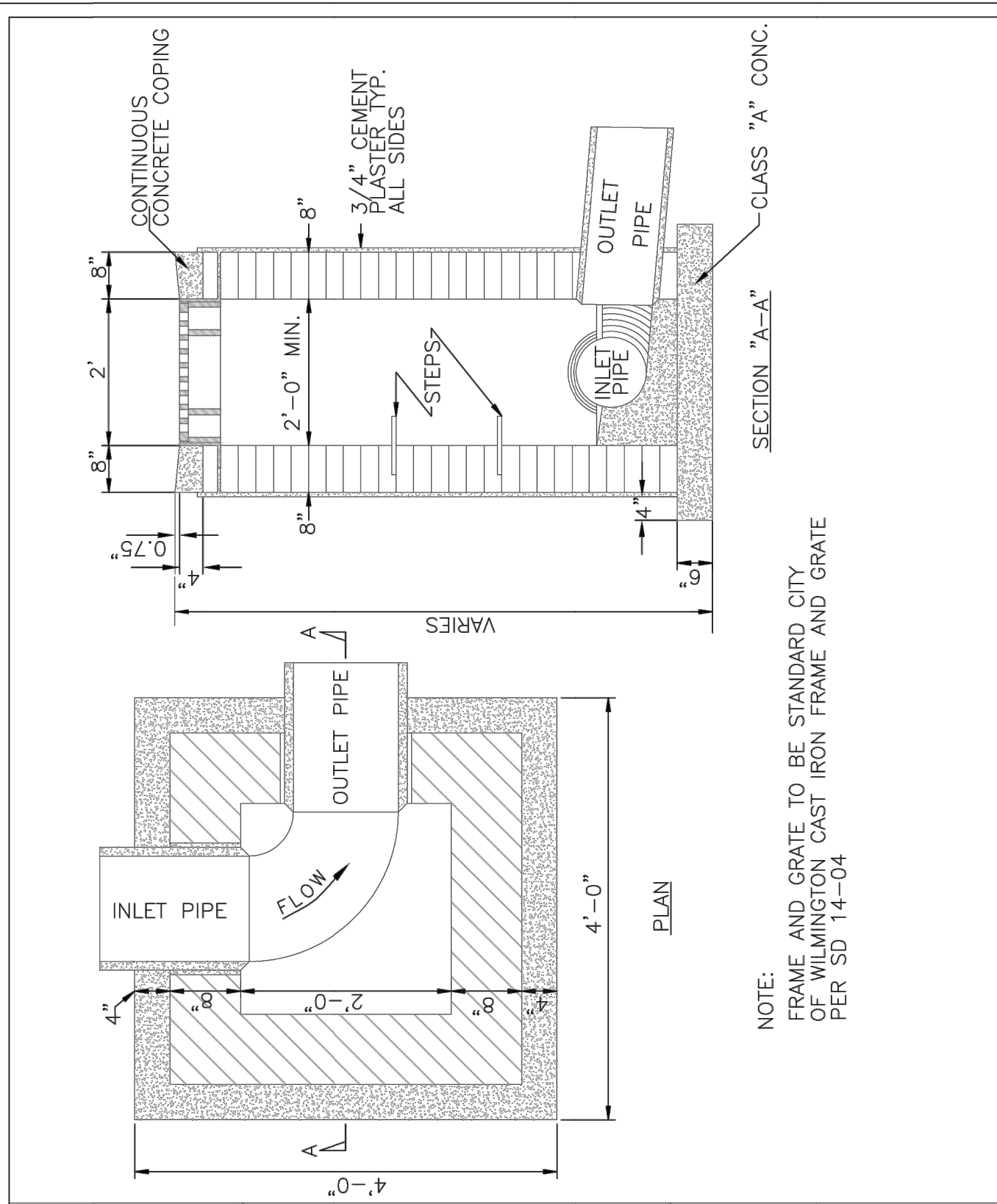
ISSUE DATE 11/02/2022

CHECKED L. DICKSON  
SHEET BY J. ADRIATICO  
PROJECT NUMBER 21-025

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS

# CD401





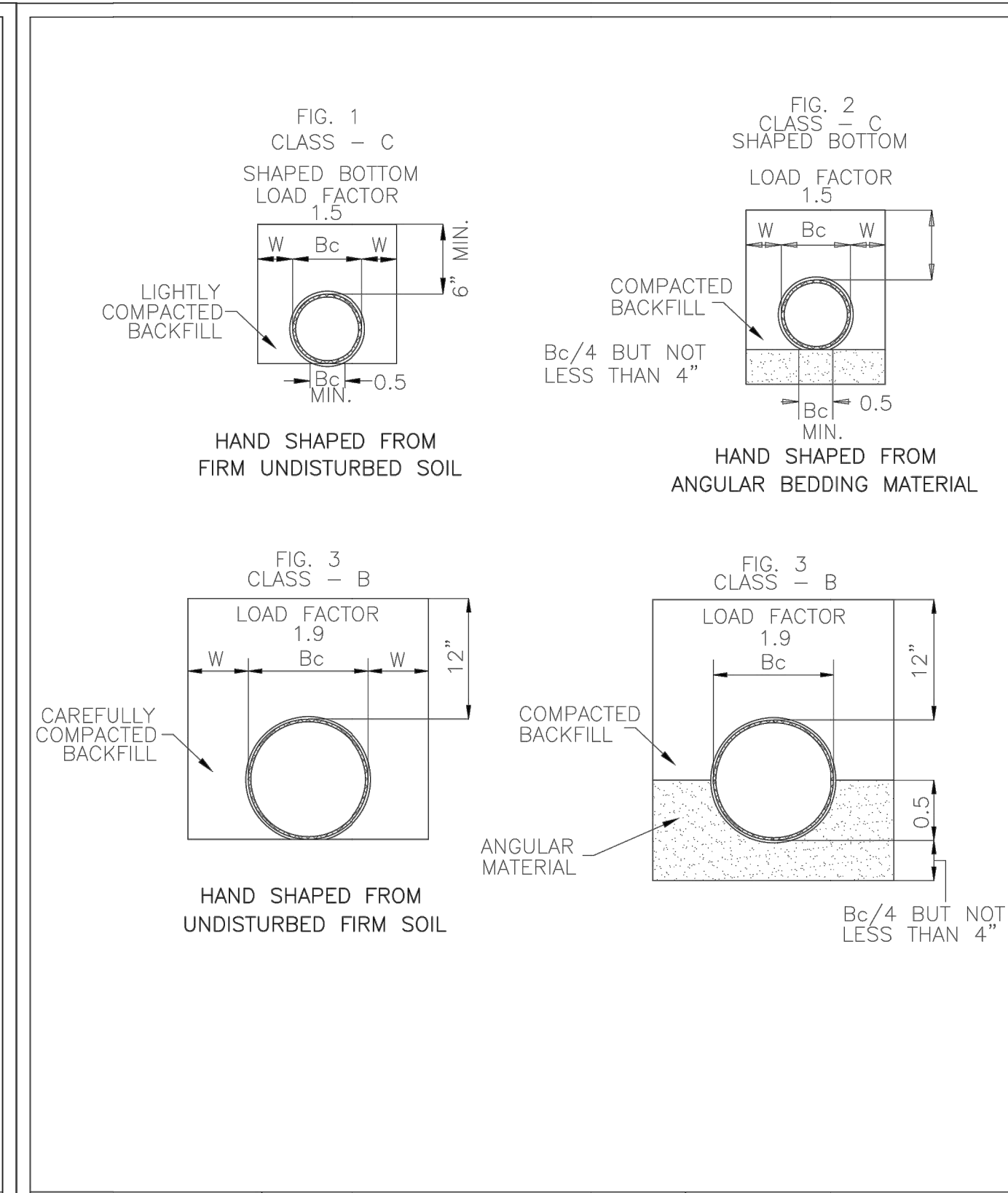
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 CHECKED BY: B.P., P.E.  
 SCALE: NOT TO SCALE

STANDARD DETAIL

**DROP INLET**

CITY OF WILMINGTON  
 NORTH CAROLINA  
 CITY OF WILMINGTON ENGINEERING  
 PO BOX 1810  
 WILMINGTON, NC 28402  
 (910) 341-7807

SD 2-02



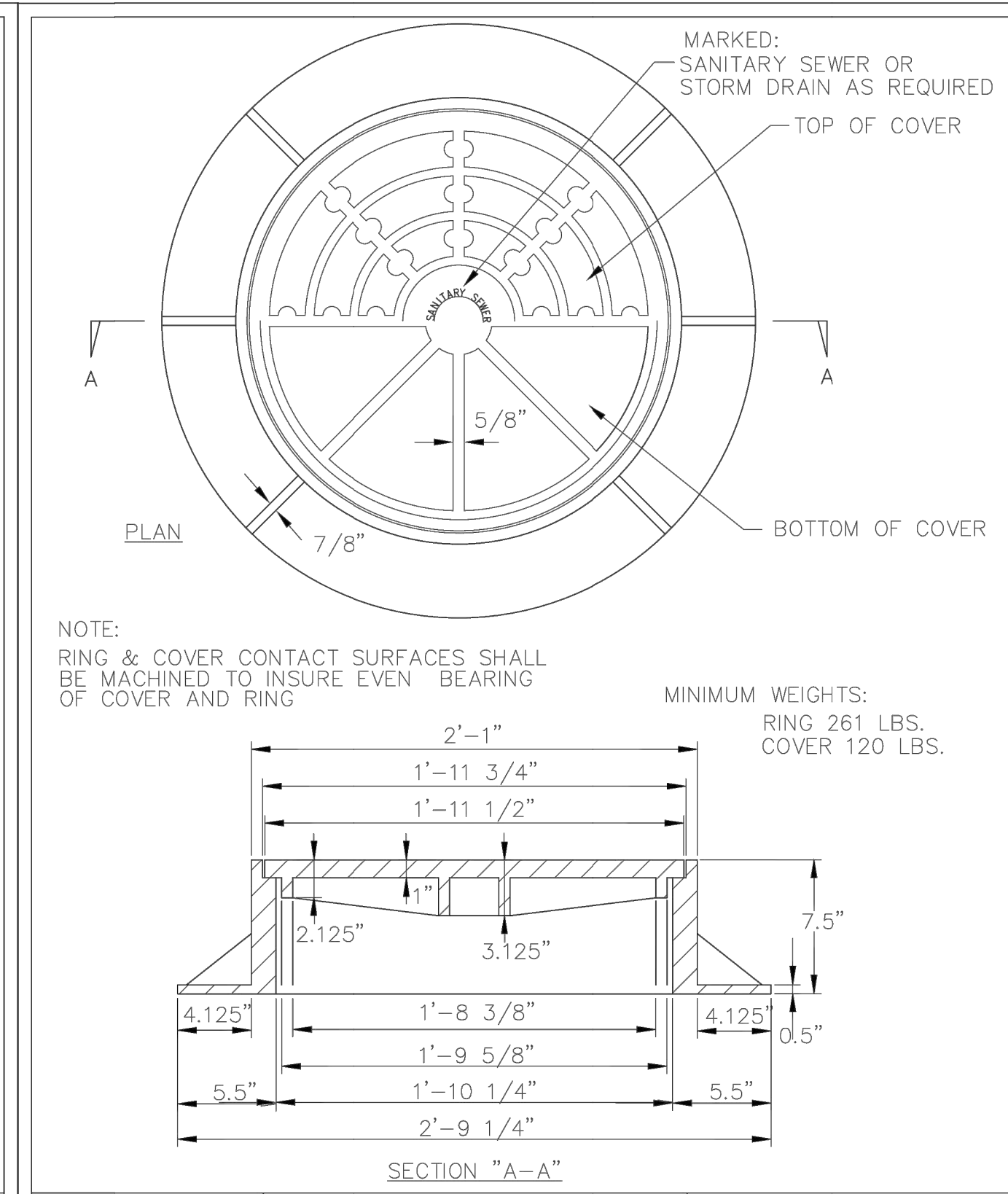
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 CHECKED BY: B.P., P.E.  
 SCALE: NOT TO SCALE

STANDARD DETAIL

**GUIDELINES FOR BEDDING DETAILS, STORM SEWER CLASSES (B & C)**

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 NORTH CAROLINA  
 CITY OF WILMINGTON ENGINEERING  
 PO BOX 1810  
 WILMINGTON, NC 28402  
 (910) 341-7807

SD 2-17



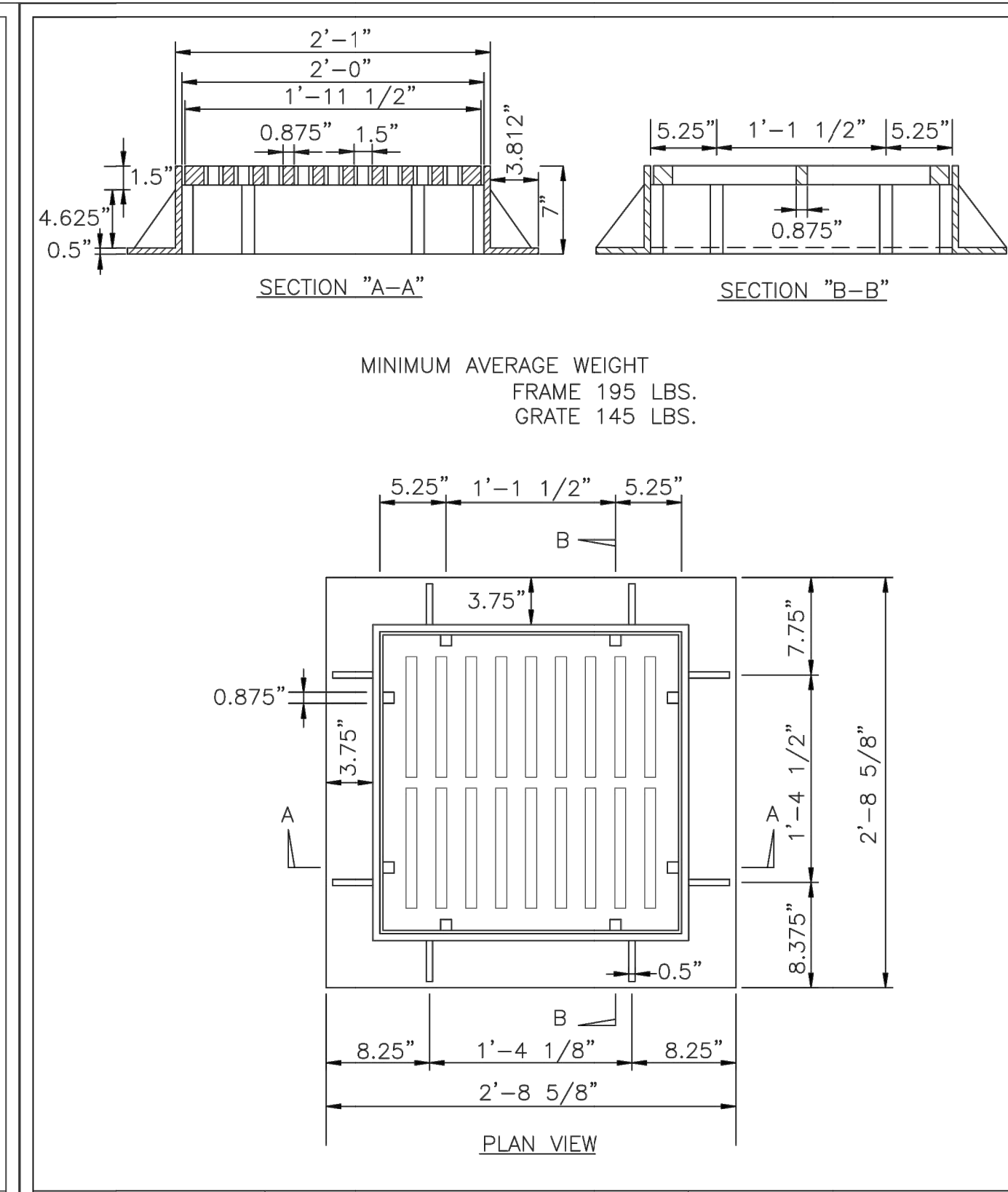
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 CHECKED BY: B.P., P.E.  
 SCALE: NOT TO SCALE

STANDARD DETAIL

**STANDARD MAN-HOLE RING AND COVER**

CITY OF WILMINGTON  
 NORTH CAROLINA  
 CITY OF WILMINGTON ENGINEERING  
 PO BOX 1810  
 WILMINGTON, NC 28402  
 (910) 341-7807

SD 14-02



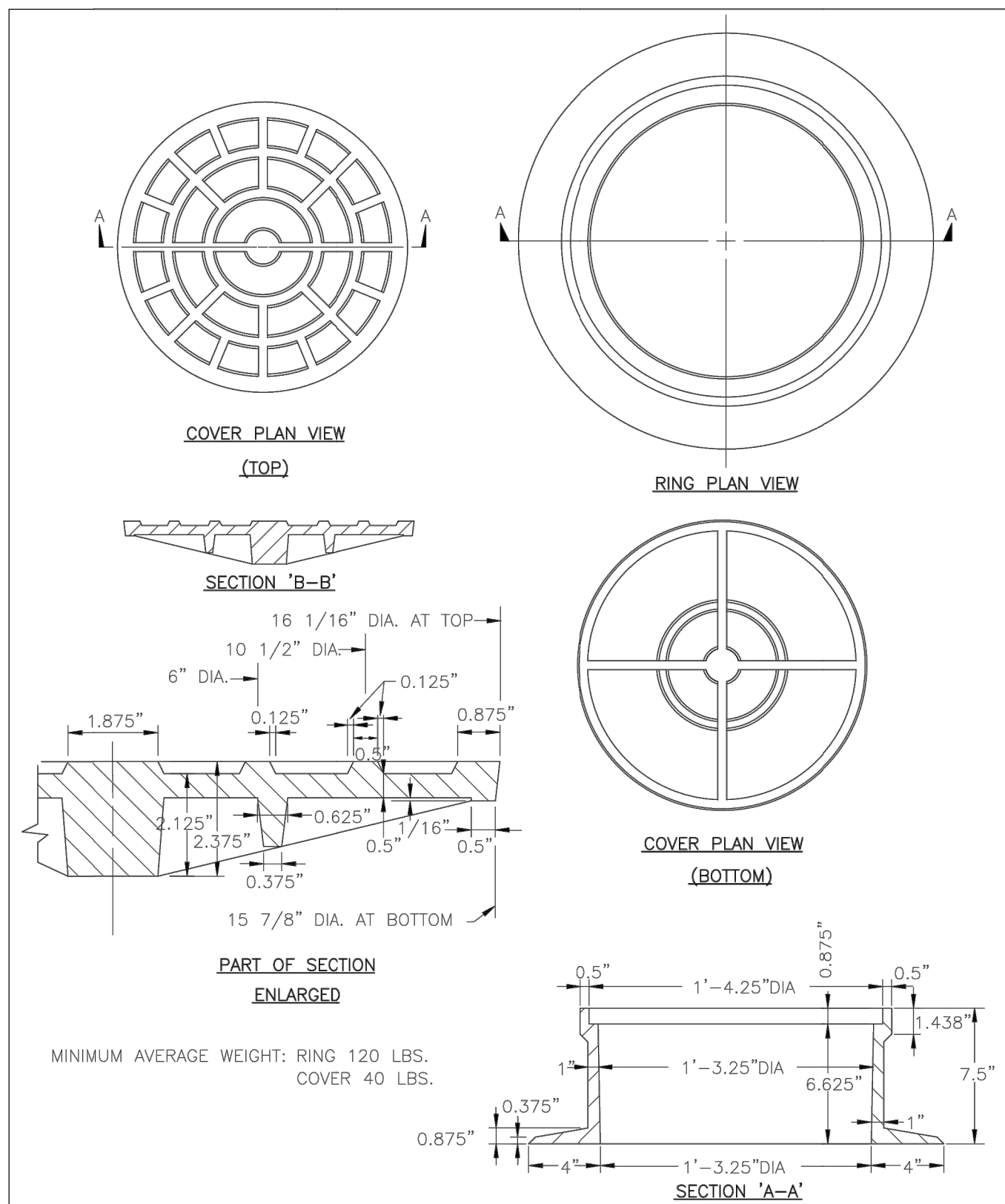
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 CHECKED BY: B.P., P.E.  
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STANDARD DETAIL

**DROP INLET CASTINGS**

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 CITY OF WILMINGTON ENGINEERING  
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SD 14-04



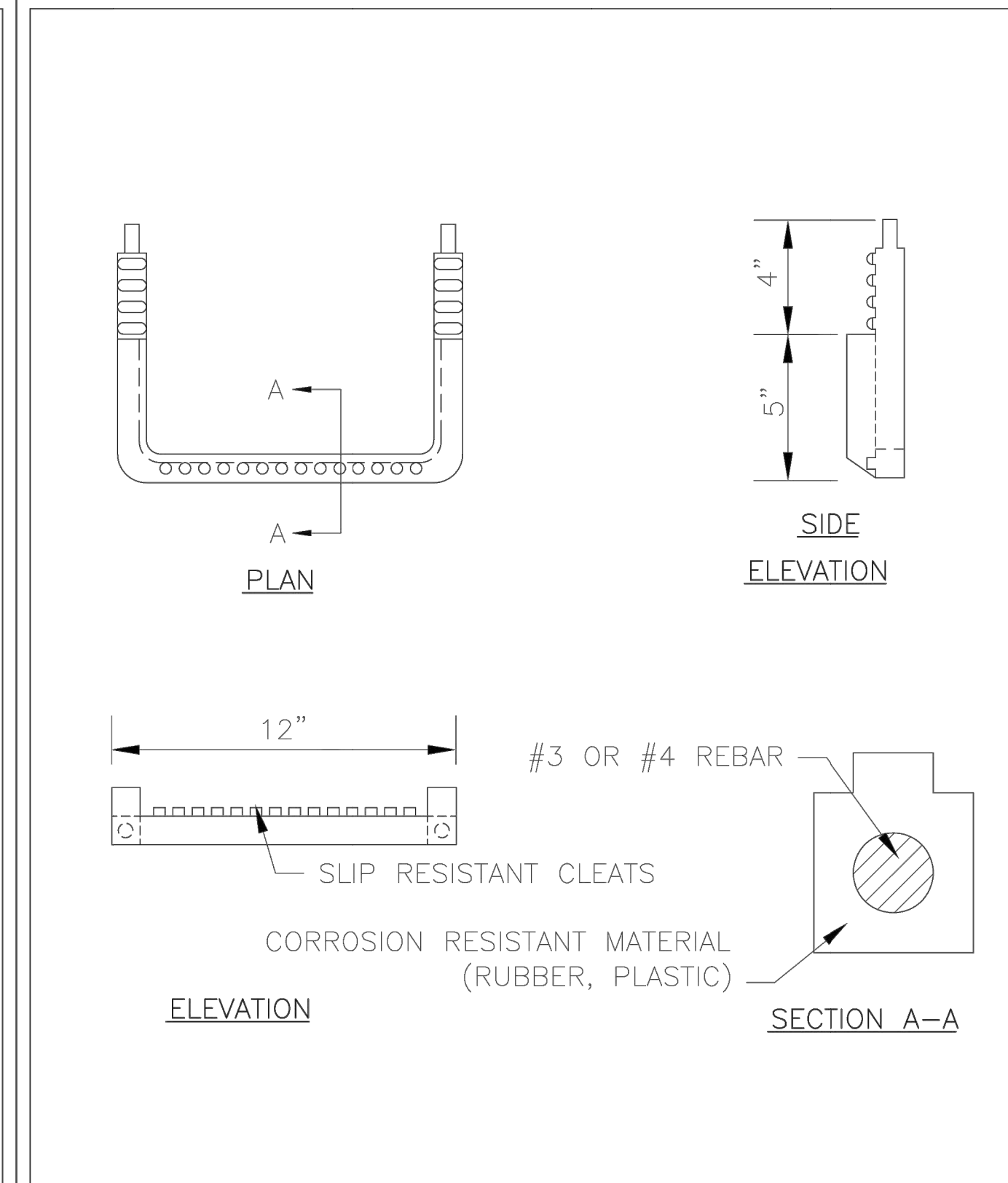
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 CHECKED BY: B.P., P.E.  
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STANDARD DETAIL

**MONUMENT CASTING DETAIL**

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 CITY OF WILMINGTON ENGINEERING  
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SD 14-05



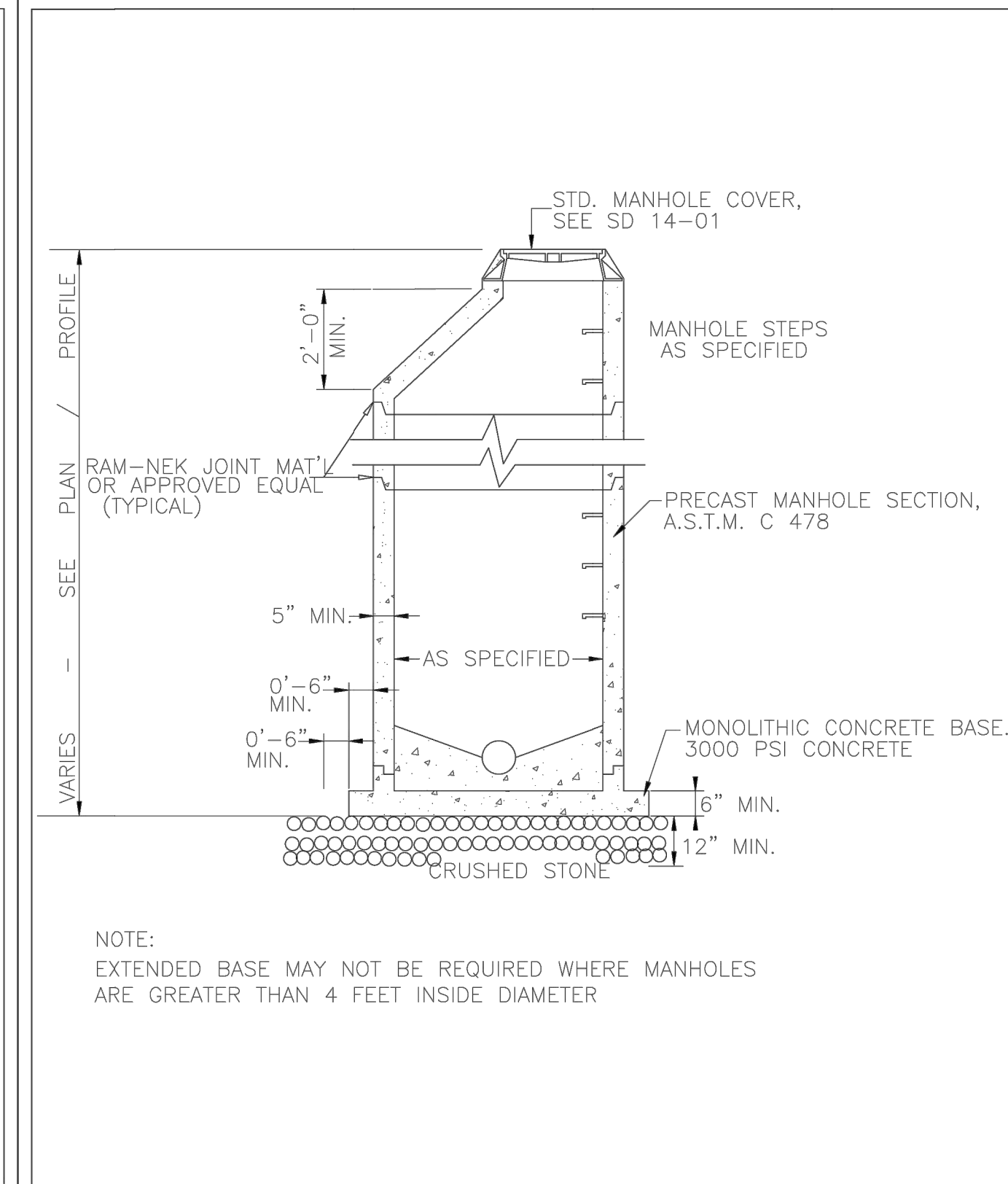
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 CHECKED BY: B.P., P.E.  
 SCALE: NOT TO SCALE

STANDARD DETAIL

**SLIP RESISTANT MANHOLE STEP**

CITY OF WILMINGTON  
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 CITY OF WILMINGTON ENGINEERING  
 PO BOX 1810  
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 (910) 341-7807

SD 14-10



DATE: 2001  
 DRAWN BY: JSR/CMR  
 CHECKED BY: B.P., P.E.  
 SCALE: NOT TO SCALE

STANDARD DETAIL

**PRECAST MANHOLE**

CITY OF WILMINGTON  
 NORTH CAROLINA  
 CITY OF WILMINGTON ENGINEERING  
 PO BOX 1810  
 WILMINGTON, NC 28402  
 (910) 341-7807

SD 14-11

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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

**STORM DRAINAGE DETAILS**

ISSUE DATE: 11/02/2022

CHECKED: L. DICKSON  
 SHEET BY: J. ADRIATICO  
 PROJECT NUMBER: 21-025

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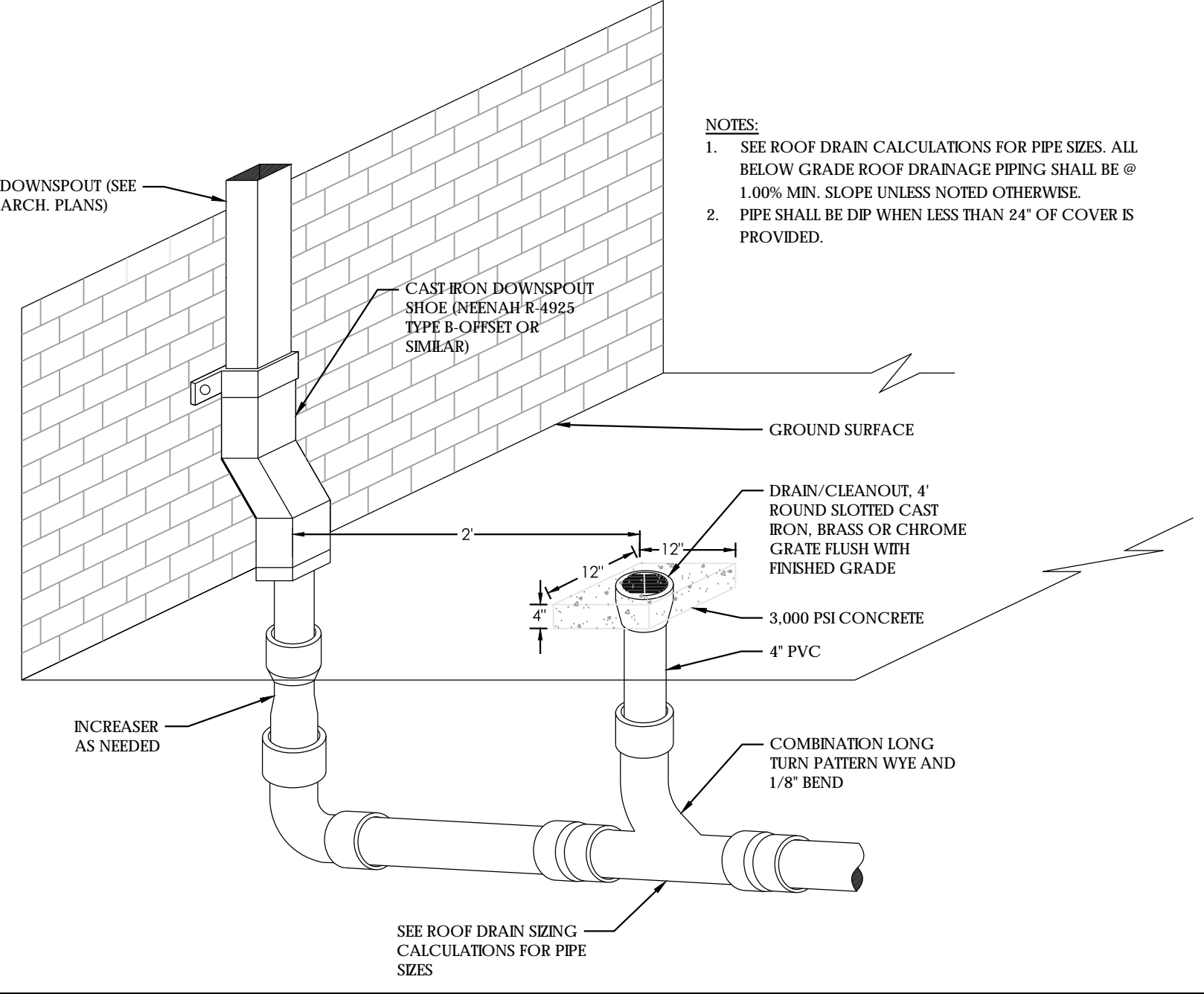
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 FOR B.P. CINEY, P.E.  
 NOT FOR CONSTRUCTION  
 J. P. MILLER

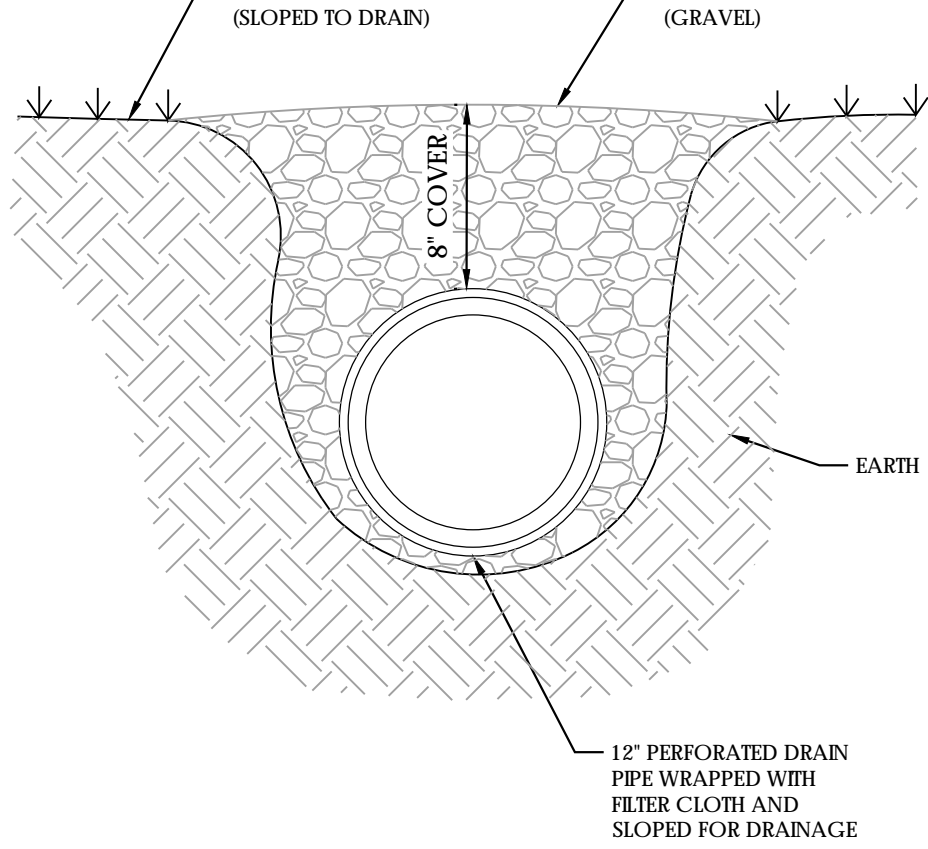
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 F-0453  
 N.C.



- NOTES:**
- 1. SEE ROOF DRAIN CALCULATIONS FOR PIPE SIZES. ALL BELOW GRADE ROOF DRAINAGE PIPING SHALL BE @ 1.00% MIN. SLOPE UNLESS NOTED OTHERWISE.
  - 2. PIPE SHALL BE DIP WHEN LESS THAN 24\"/>

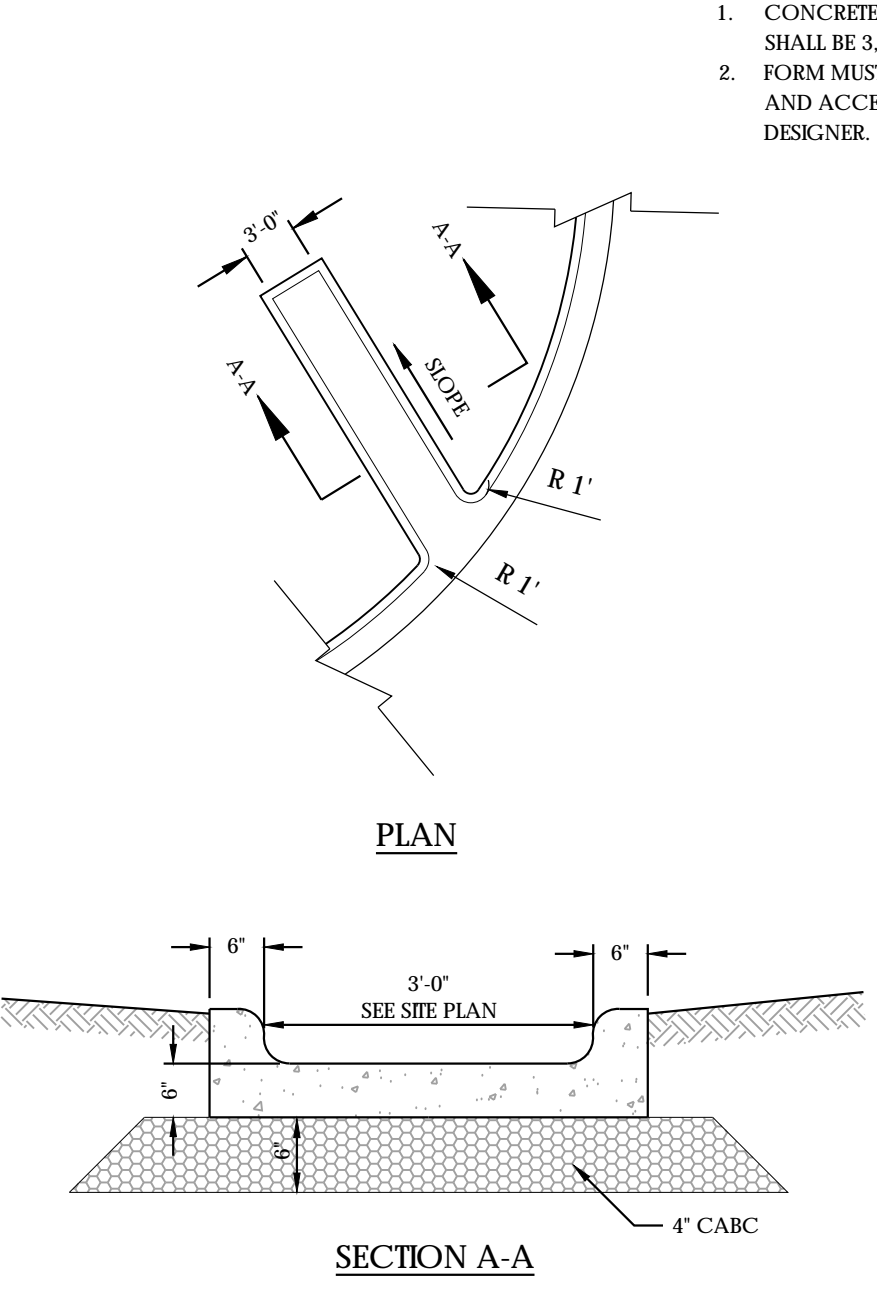
**DOWNSPOUT CONNECTION**  
SCALE: NTS

1



**FRENCH DRAIN**  
SCALE: NTS

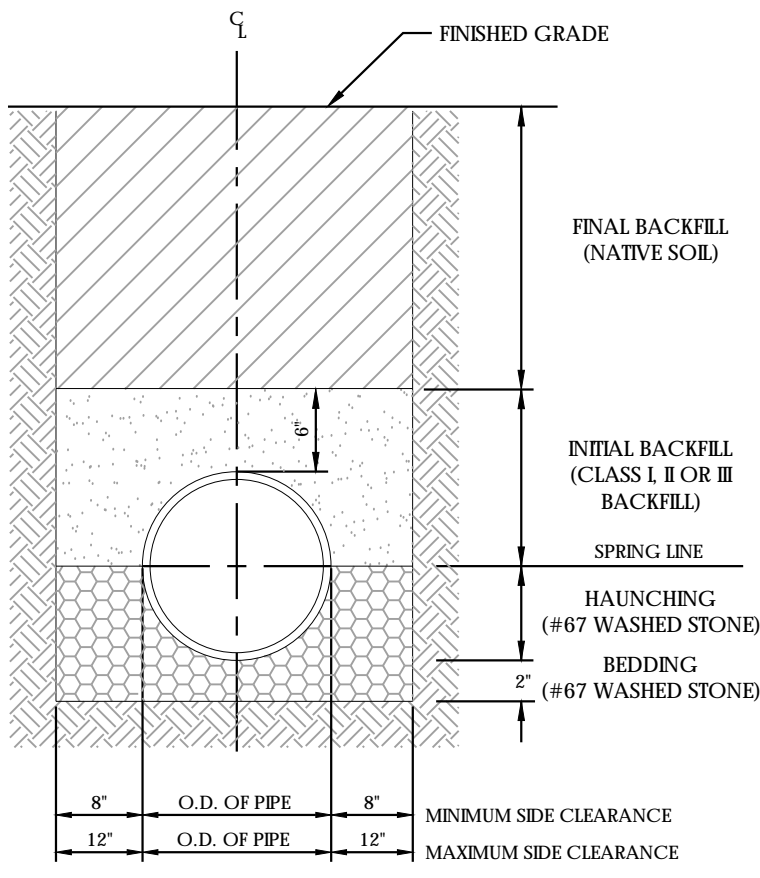
2



- NOTES:**
- 1. CONCRETE FOR CURB AND GUTTER SHALL BE 3,000 PSI @ 28 DAYS.
  - 2. FORM MUST BE SMOOTH, UNIFORM, AND ACCEPTABLE TO PROJECT DESIGNER.

**CONCRETE FLUME**  
SCALE: NTS

3



- NOTES:**
- 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  - 2. NO ROCKS OR BOULDERS 4\"/>

**HDPE STORM PIPE TRENCHING**  
SCALE: NTS

4

**Roof Drain and Leader Calculations**

ROOF DRAIN PIPE LABEL	AREA INFLOW (SF)	CUMULATIVE AREA (SF)	REQUIRED PIPE SIZE (IN)	PROVIDED PIPE SIZE (IN)
P1	2029	0	4	4
P2	2029	4058	6	6
P3	2029	6087	8	8
P4	2029	8116	8	8
P5	0	8116	8	8
P6	0	8116	8	8

NOTE: Assumptions per NC Plumbing Code Table 1106.3  
- 5 in/hr rainfall  
- 4\"/>

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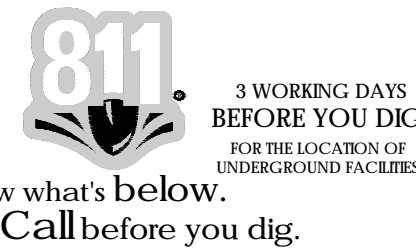
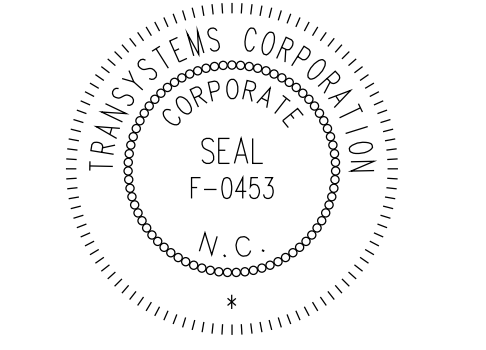
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

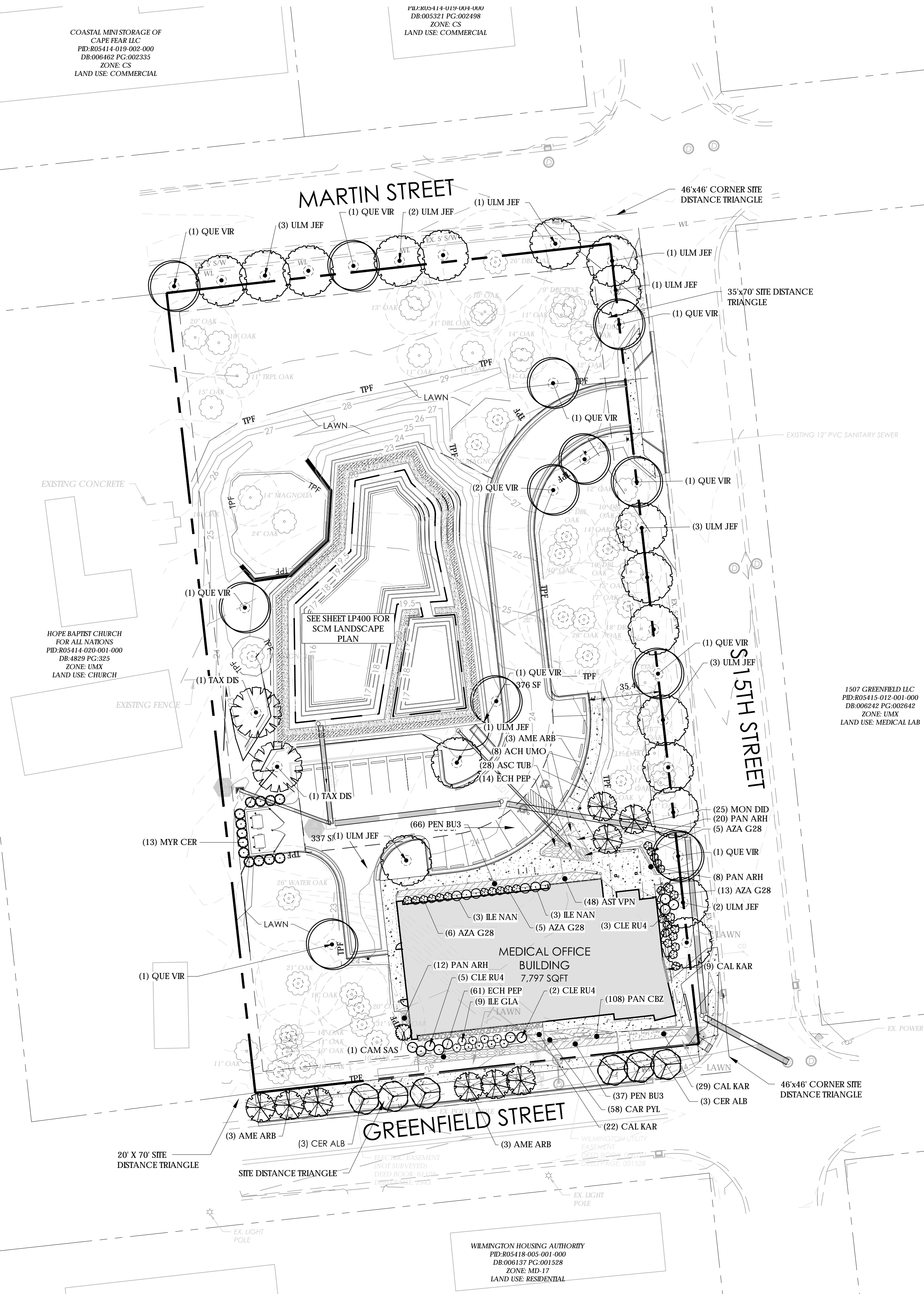
STORM DRAINAGE DETAILS

ISSUE DATE 11/02/2022

CHECKED BY L. DICKSON  
SHEET BY J. ADRIATICO  
PROJECT NUMBER 21-025

**CD501**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS



COASTAL MINI STORAGE OF CAPE FEAR LLC  
 PID:R05414-019-002-000  
 DB:006462 PG:002335  
 ZONE: CS  
 LAND USE: COMMERCIAL

PL:R05414-019-004-000  
 DB:005321 PG:002498  
 ZONE: CS  
 LAND USE: COMMERCIAL

HOPE BAPTIST CHURCH FOR ALL NATIONS  
 PID:R05414-020-001-000  
 DB:4829 PG:325  
 ZONE: UMK  
 LAND USE: CHURCH

1507 GREENFIELD LLC  
 PID:R05415-012-001-000  
 DB:006242 PG:002842  
 ZONE: UMK  
 LAND USE: MEDICAL LAB

WILMINGTON HOUSING AUTHORITY  
 PID:R03418-005-001-000  
 DB:000137 PG:001528  
 ZONE: MD-17  
 LAND USE: RESIDENTIAL

OVERALL LANDSCAPE PLANTING PLAN  
 Scale: 1" = 30'

PLANT SCHEDULE- TREES					
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
AME ARB	9	AMELANCHIER ARBorea / DOWNY SERVICEBERRY	2" CAL.	B&B	SINGLE STRAIGHT LEADER
CER ALB	6	CERCIS CANADENSIS 'ALBA' / WHITE EASTERN REDBUD	2" CAL.	B&B	
TAX DS	2	TAXODIUM DISTICHUM / BALD CYPRESS	3" CAL.	B&B	SINGLE STRAIGHT LEADER
ULM JEF	18	ULMUS AMERICANA 'JEFFERSON' / JEFFERSON AMERICAN ELM	3" CAL.	B&B	SINGLE STRAIGHT LEADER

PLANT SCHEDULE- TREES					
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
QUE VIR	12	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	3" CAL.	B&B	SINGLE STRAIGHT LEADER

PLANT SCHEDULE- SHRUBS					
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
AZA G28	29	AZALEA X 'GIRARD'S ROSE' / GIRARD'S ROSE AZALEA	3 GAL.	POT	
CAM SAS	1	CAMELLIA SASANQUA / SASANQUA CAMELLIA	5 GAL.	POT	FULLY ROOTED
CLE RU4	10	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET	3 GAL.	POT	FULLY ROOTED
ILE GLA	9	ILEX GLABRA / INKBERRY HOLLY	3 GAL.	POT	FULLY ROOTED
ILE NAN	6	ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY	3 GAL.	POT	FULLY ROOTED
MYR CER	13	MYRICA CERIFERA / WAX MYRTLE	5 GAL.		MIN. HEIGHT 3'

PLANT SCHEDULE					
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
ACH UMO	8	ACHILLEA X 'SASSY SUMMER LEMON' / SASSY SUMMER LEMON YARROW	4"	POT	24" o.c.
ASC TUB	28	ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED	4"	POT	18" o.c.
AST VPN	48	ASTILBE CHINENSIS 'VISION IN PINK' / VISION IN PINK CHINESE ASTILBE	4"	POT	18" o.c.
CAL KAR	60	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	POT	24" o.c.
CAR PYL	58	CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE	1 GAL.	POT	12" o.c.
ECH PEP	75	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER	1 GAL.	POT	24" o.c.
MON DID	25	MONARDA DIDYMA / BEE BALM	4"	POT	18" o.c.
PAN CBZ	108	PANICUM VIRGATUM 'CAPE BREEZE' / CAPE BREEZE SWITCH GRASS	1 GAL.	POT	12" o.c.
PAN ARH	40	PANICUM VIRGATUM 'PURPLE TEARS' / PURPLE TEARS SWITCH GRASS	4"	POT	18" o.c.
PEN BU3	103	PENNETETUM ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF FOUNTAIN GRASS	1 GAL.	POT	24" o.c.

LANDSCAPE REQUIREMENTS		
STREETSCAPE LANDSCAPE DIMENSIONS (UDO 18-319)	REQUIRED	PROVIDED
PROJECT IS IN UMK ZONING DISTRICT AND IS THEREFORE EXEMPT FROM STREETSCAPE REQUIREMENTS		
STREET TREES (UDO 18-204)	REQUIRED	PROVIDED
WITHIN UMK ZONING, 1 STREET TREE PER 30 LF OF STREET FRONTAGE		
GREENFIELD STREET (219.7) OVERHEAD POWERLINES EXIST	219.7 / 30 = 8 CANOPY TREES OR 12 UNDERSTORY TREES	12 UNDERSTORY TREES PROVIDED
SOUTH 15TH STREET (396')	396 / 30 = 14 CANOPY TREES	14 CANOPY TREES
MARTIN STREET (219.4')	219.4 / 30 = 8 CANOPY TREES	8 CANOPY TREES
PARKING INTERIOR LANDSCAPING (UDO 18-321)	REQUIRED	PROVIDED
TREE ISLANDS	1 / 10 PARKING SPACES = 3	6
CANOPY SHADING PERCENTAGE	13%	27.66%
FOUNDATION PLANTINGS (18-490)	REQUIRED	PROVIDED
area of building face adjacent to parking multiplied by 12%	152' X 24' = 3,648 SF 3,648 SF X 12% = 437.8SF	618 SF

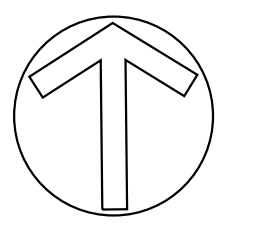
- LANDSCAPE PLAN NOTES**
- WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE REPRESENTED WITH LOD

**811** 3 WORKING DAYS BEFORE YOU DIG FOR THE LOCATION OF UNDERGROUND UTILITIES

Know what's below.  
Call before you dig.

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**neighboring concepts**  
 ARCHITECTURE ■ PLANNING ■ INTERIORS

1635 West Trade Street, Suite 1A  
 Charlotte, North Carolina 28216  
 T:704.374.0516 F:704.342.3808

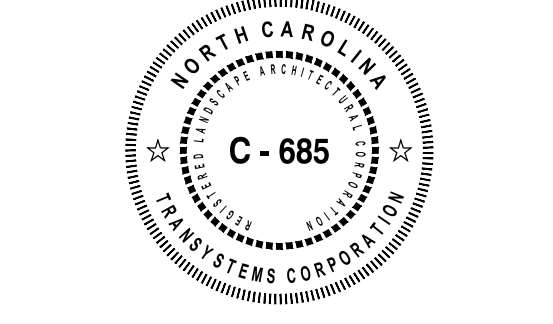
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 RALEIGH, NC 27603  
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NOVANT HEALTH  
 FAMILY MEDICAL  
 CLINIC - GREENFIELD

1423 GREENFIELD STREET, WILMINGTON, NC

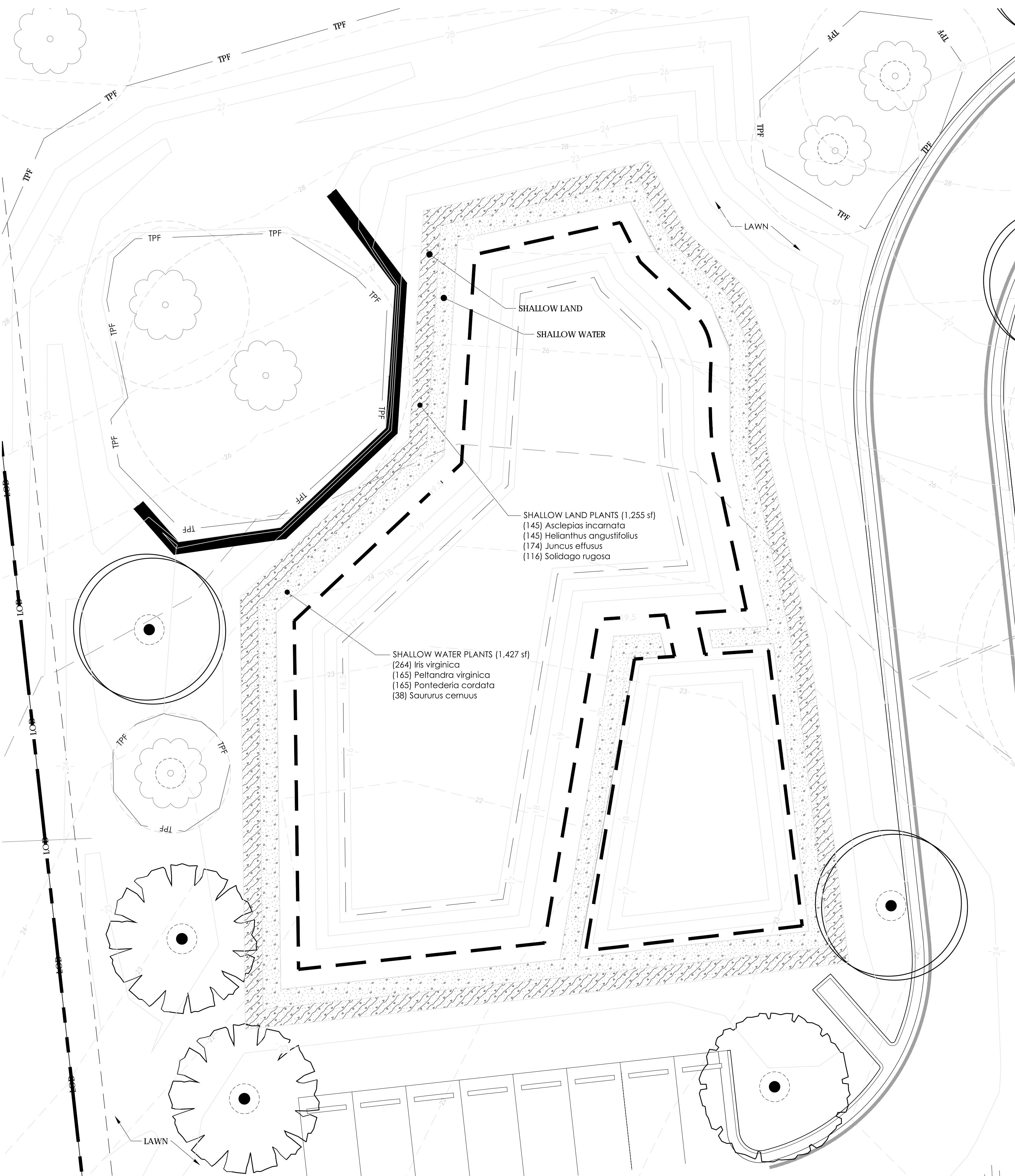
No.	Description	Date

PERMIT SET

LANDSCAPE PLAN

ISSUE DATE 11/02/2022  
 CHECKED L. DICKSON  
 SHEET BY J. ADRIATICO  
 PROJECT NUMBER LP100  
 21-025

11/2/2022 10:30 AM X:\2021\SET1\SET1285.00\_MJ\_Clinic\_Greenfield\_S&UD\CADD\CD\LP100.dwg



**SCM LANDSCAPE PLAN**  
Scale: 1" = 10'

**SCM PLANT SCHEDULE**

Plant Species	Area / Count	Pot Size	Spacing
<b>SHALLOW LAND PLANTS (1,255 SF)</b>			
ASCLEPIAS INCARNATA / SWAMP MILKWEED	145	4", POT	25% @ 18" oc
HELIANTHUS ANGUSTIFOLIUS / SWAMP SUNFLOWER	145	4", POT	25% @ 18" oc
JUNCUS EFFUSUS / COMMON RUSH	174	4", POT	30% @ 18" oc
SOLIDAGO RUGOSA / WRINKLELEAF GOLDENROD	116	4", POT	20% @ 18" oc
<b>SHALLOW WATER PLANTS (1,427 SF)</b>			
IRIS VIRGINICA / BLUE FLAG IRIS	264	4", POT	40% @ 18" oc
PELTANDRA VIRGINICA / ARROW ARUM	165	4", POT	25% @ 18" oc
PONTERDERIA CORDATA / PICKEREL WEED	165	4", POT	25% @ 18" oc
SAURURUS CERNUUS / LIZARD'S TAIL	38	4", POT	10% @ 24" oc

**NOTES:**

- 1. PLANTS LISTED IN SCHEDULE ABOVE ARE FOR THE PLANTS SHOWN ON THIS SHEET WITHIN THE SCM. FOR FULL PLANTING PLAN, SEE SHEET LP100.
- 2. BIO-RETENTION AREA TO BE MULCHED WITH 3" OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH SHALL BE UNIFORMLY PLACED.
- 3. MULCH SHOULD BE FREE OF WEED SEEDS, SOIL, ROOTS, AND OTHER MATERIAL THAT IS NOT BOLE OR BRANCH WOOD OR BARK.
- 4. SEE CD400 FOR FURTHER INFORMATION REGARDING CONSTRUCTION OF SCM.

**WET POND LANDSCAPE REQUIREMENTS**

Required per NCDENR Stormwater BMP Manual	MINIMUM REQUIRED	PROVIDED
Minimum three diverse species at a minimum density of 50 plants / 200 SF	Shallow Land: 313.5 plants Shallow Water: 356.5 plants	Shallow Land: 580 plants Shallow Water: 632 plants

**neighboring concepts**

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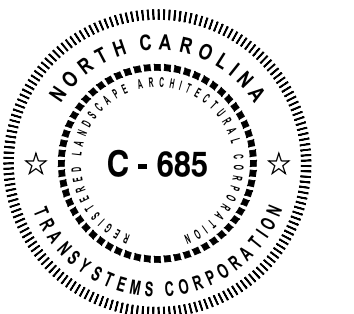
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**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

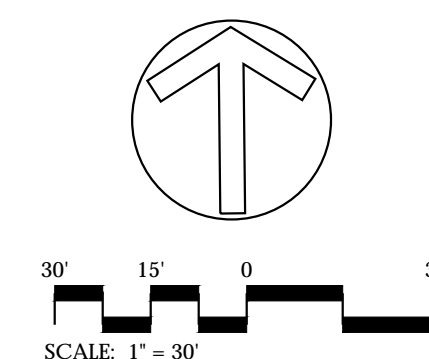
SCM LANDSCAPE PLAN

ISSUE DATE: 11/02/2022

CHECKED BY: L. DICKSON  
SHEET BY: J. ADRIATICO  
PROJECT NUMBER: 21-025

**LP400**

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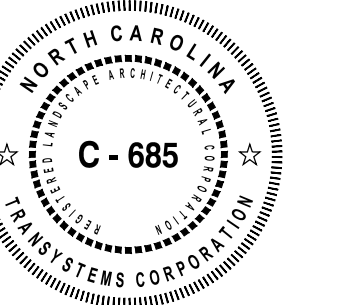
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NOVANT HEALTH  
FAMILY MEDICAL  
CLINIC -  
GREENFIELD

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

LANDSCAPE DETAILS

ISSUE DATE 11/02/2022

CHECKED  
L. DICKSON  
SHEET BY  
J. ADRIATICO  
PROJECT NUMBER  
21-025

# LP500

ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
WITH ALL CITY OF WILMINGTON AND NCDOT  
STANDARDS AND SPECIFICATIONS

10. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
11. LANDSCAPE SUB-CONTRACTOR (UNDER GC CONTRACT) SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AT HIS COST FROM HIS OWN WATER SOURCE INCLUDING DURING PERIODS OF DROUGHT UNTIL THE PLANTS AND LAWN MEET FINAL COMPLETION. PLANT MATERIALS WHICH PERISH SHALL BE RE-ESTABLISHED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM PLANTED AREAS. IF DAMAGE OCCURS, THROUGH NO FAULT OF THE OWNER, AREAS SHALL BE REGRADED AND REPAIRED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95% COVERAGE AT FINAL COMPLETION.
13. SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTITUTED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
14. IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.
15. ALL FOUNDATION SHRUBS AND TREES TO BE PLANTED A MINIMUM OF 5-FT FROM BUILDING WALL. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
16. MULCH LINE SMOOTH CONTINUOUS CURVES. CLEAR OUT FIRST 5-FT FROM DEBRIS AND UNDERBRUSH (TYP) AT AREAS OF EXISTING VEGETATION TO REMAIN.
17. ALL TREES NOT WITHIN A PLANT BED TO BE TREATED WITH A 6-FT DIAMETER MULCH RING (TYP).

LIME & FERTILIZATION SCHEDULE

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY A MINIMUM 3 TONS/ACRE GROUND AGRICULTURAL LIMESTONE AND A MINIMUM 500 LB/ACRE 10-10-10 FERTILIZER, AS NEEDED TO ESTABLISH 95% COVERAGE (AS DETERMINED ON A PER SQUARE YARD BASIS) PRIOR TO SUBSTANTIAL COMPLETION. CONTRACTOR TO SUBMIT A COPY OF ALL SOIL REPORTS TO OWNER UPON RECEIPT.

LANDSCAPE NOTES

- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE WRITTEN SPECIFICATIONS.
- ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED. 3" OF DYED BROWN DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED AROUND ALL PLANTINGS.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS, (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.) SEE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
- CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION 48 HOURS IN ADVANCE OF THE SCHEDULED SITE VISIT AND AT THE FOLLOWING INTERVALS:
  - REVIEW OF GRADING PRIOR TO PLANT INSTALLATION
  - REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
  - ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION.
  - ONE FINAL INSPECTION FOR ALL PLANTING OPERATIONS.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

SEEDBED PREPARATION NOTES:

- CHISEL ALL CUT, GRADED, OR COMPACTED AREAS TO A MIN. DEPTH OF 8 INCHES.
- DISC ALL AREAS TO RECEIVE GRASS TO A MIN. OF 8 INCHES. MIX AND AMEND WITH WELL SCREENED TOPSOIL.
- ON-SITE TOPSOIL MAY BE USED IN PLACE OF IMPORTED TOPSOIL, IF WELL-SCREENED AND DRY PRIOR TO APPLICATION IN ACCORDANCE WITH SPECIFICATIONS.
- REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND PHOSPHATE UNIFORMLY AS PER SPECIFICATIONS AND MIX WELL WITH SOIL.
- CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED TO A DEPTH OF 6 INCHES.
- SEED AT A RATE SPECIFIED OR AS NEEDED TO ACHIEVE AND MAINTAIN A THICK HEALTHY GROUND COVERAGE. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. BEGIN THOROUGH WATERING OF GRASSED AREAS IMMEDIATELY UPON INSTALLATION. DO NOT ALLOW SEEDED AREAS TO BECOME EXCESSIVELY DRY.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS AS NECESSARY.
- IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS PREVAIL.

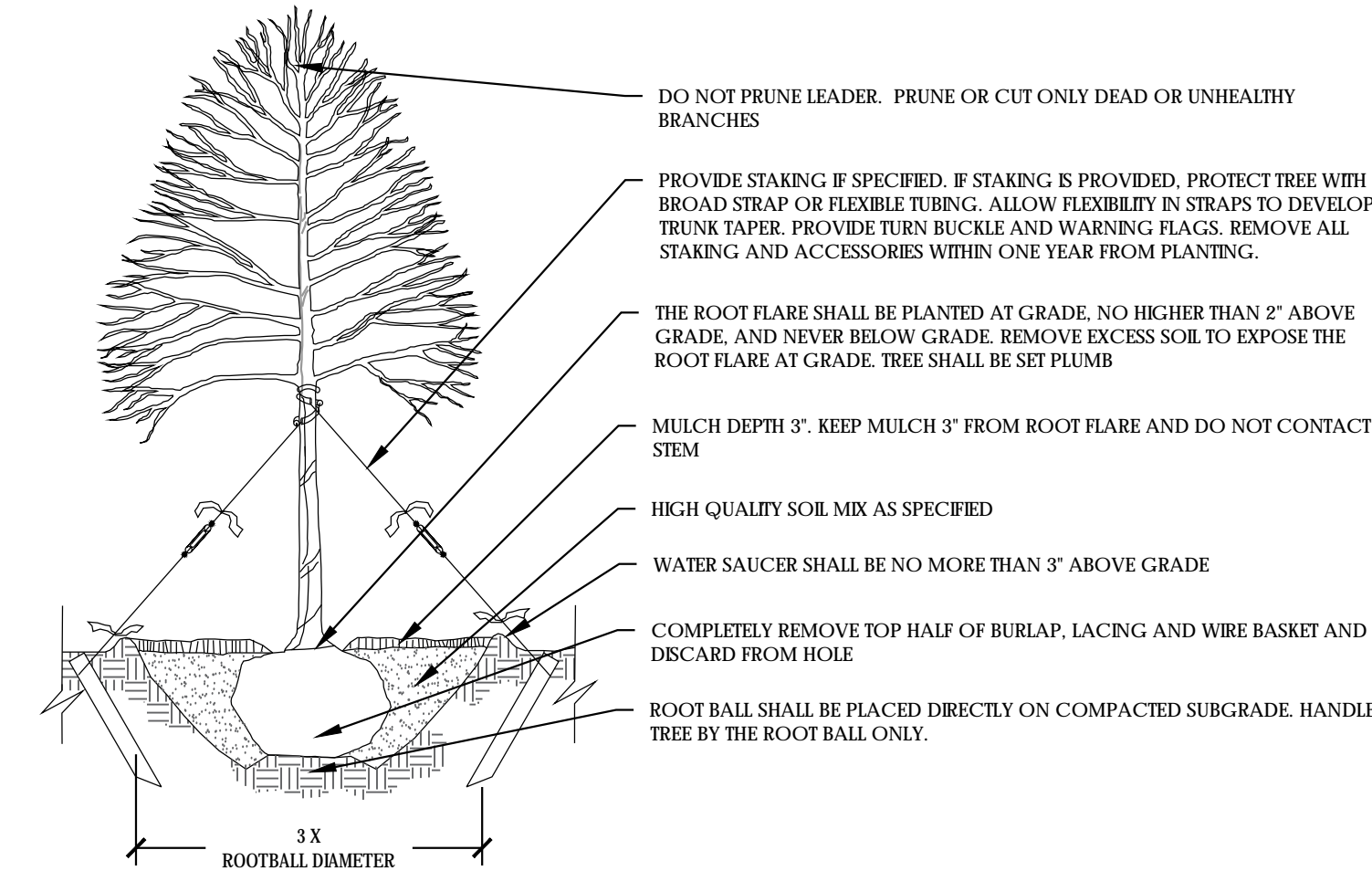
LANDSCAPE NOTES  
SCALE: NTS

3



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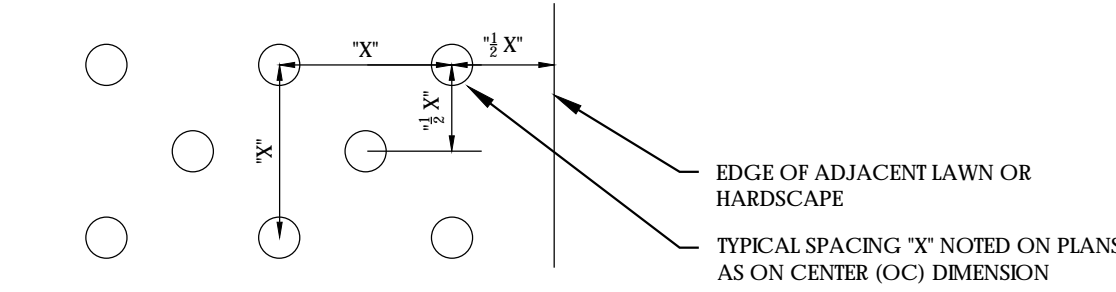
NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

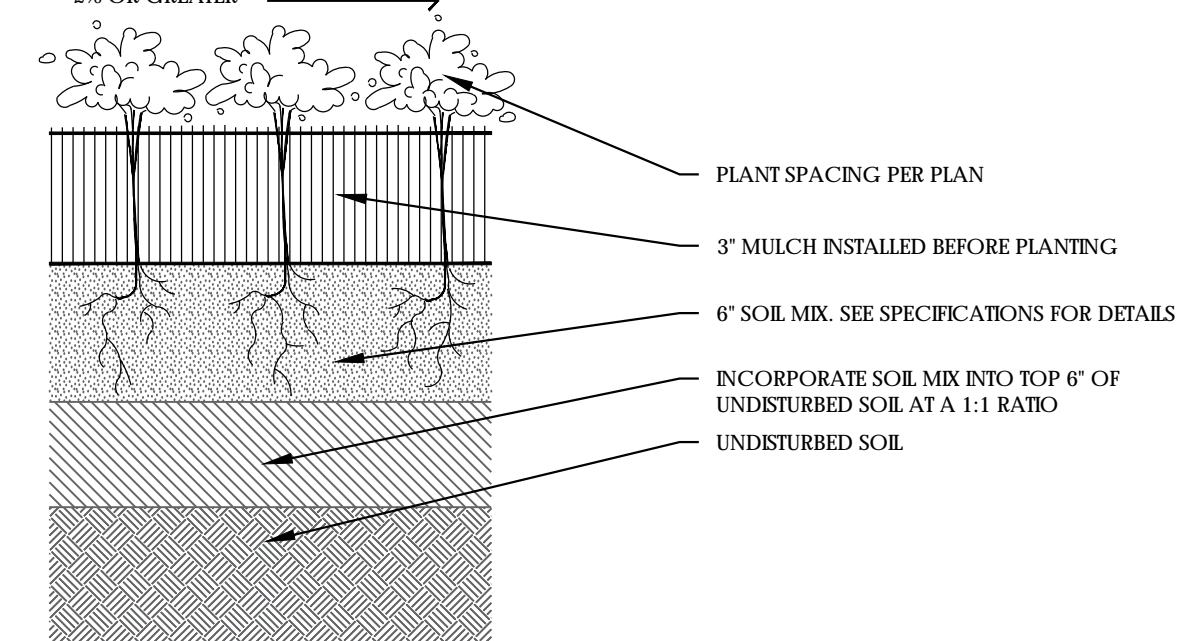
TREE PLANTING DETAIL  
SCALE: NTS

2

PLAN VIEW SPACING DIAGRAM:



SLOPE AWAY FROM BLDG. 2% OR GREATER

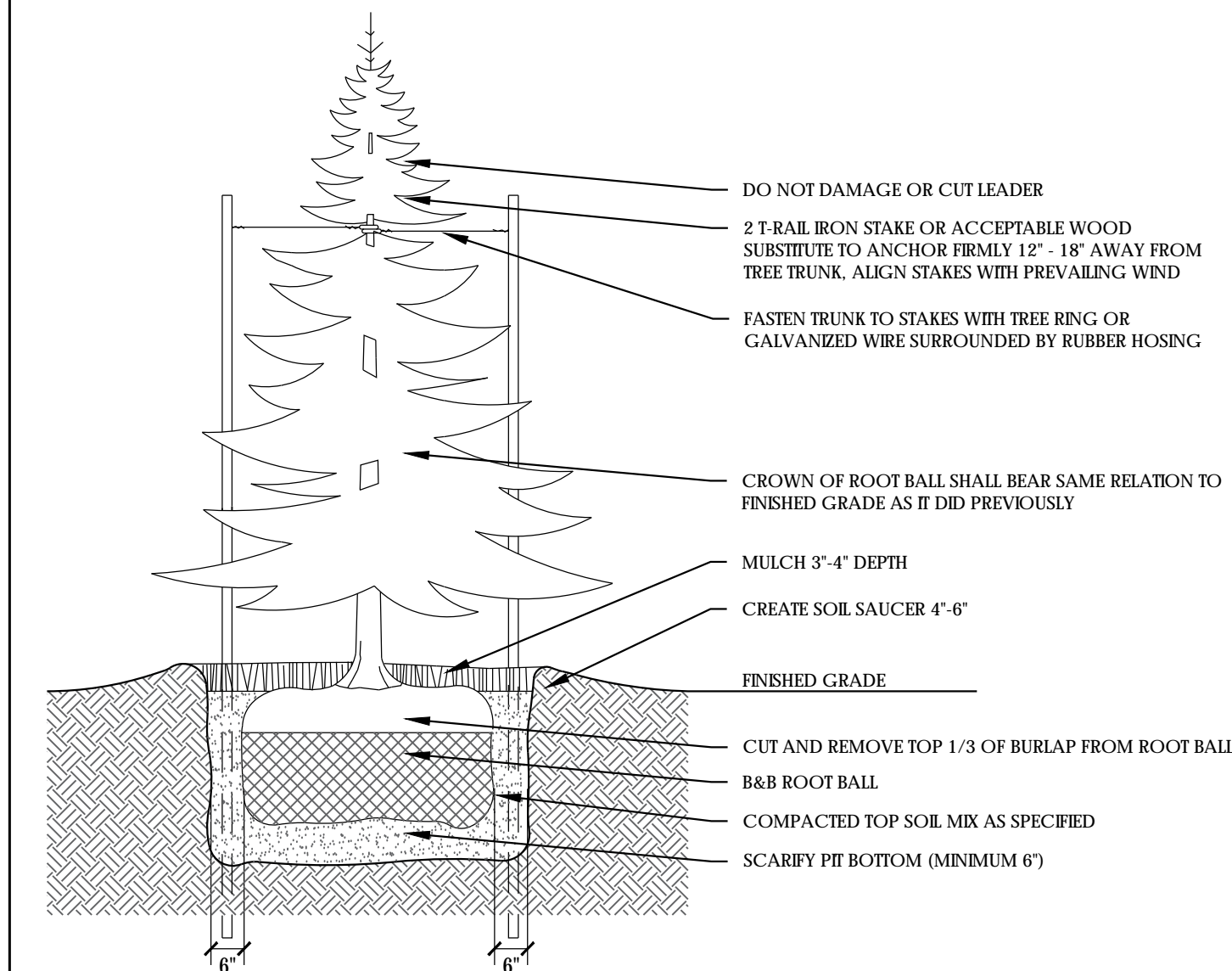


NOTES:

- ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
- LOOSEN ROOTS OF POTBOUND PLANTS BY SCORING OR PULLING.
- REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

GROUNDCOVER PLANTING  
SCALE: NTS

5

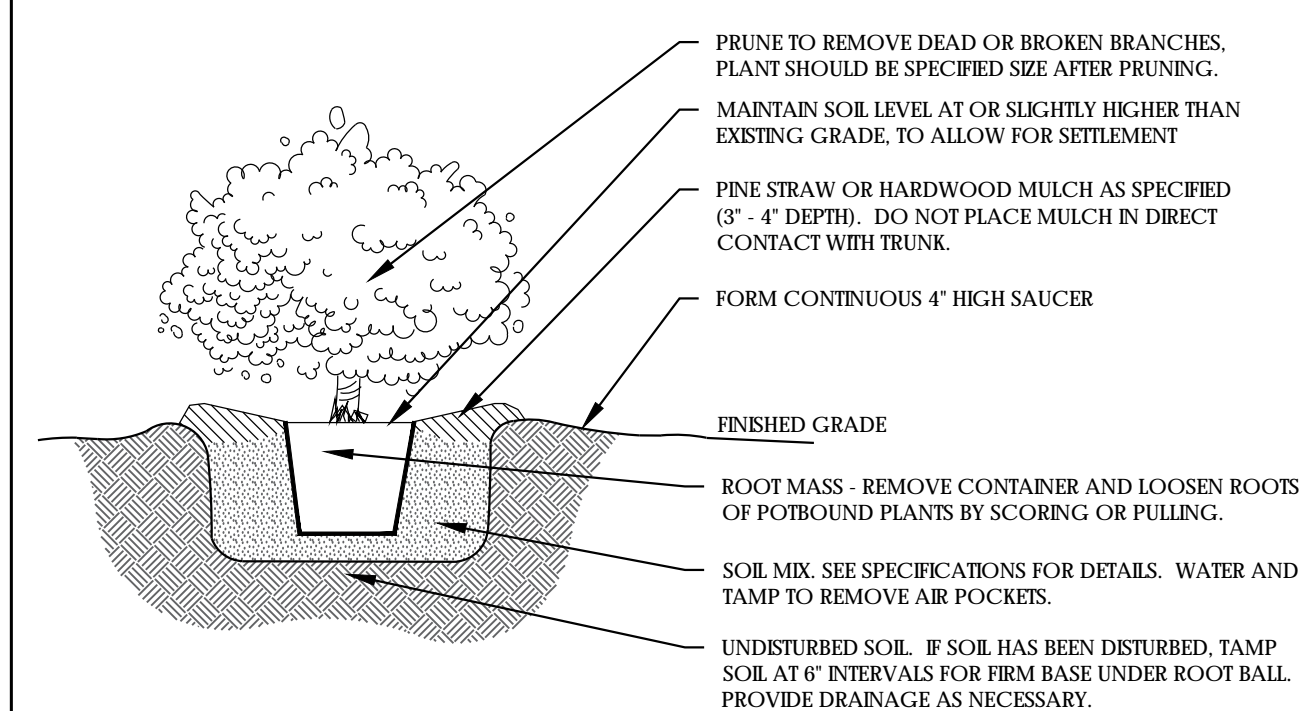


NOTES:

- DO NOT DAMAGE ROOT BALL INSTALLING STAKES
- WATER THOROUGHLY AFTER INSTALL
- REMOVE TREE RINGS AND STAKES TWO YEARS OR AFTER ESTABLISHMENT IS CONFIRMED
- PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE OR POORLY DRAINING SOIL

TREE PLANTING DETAIL  
SCALE: NTS

1



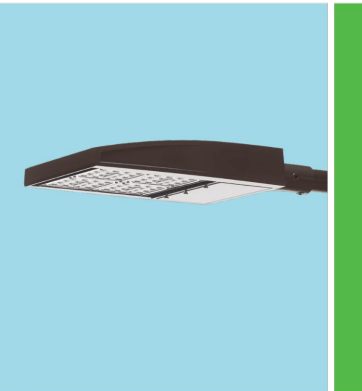
NOTES:

- ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
- REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.
- SOIL BACKFILL MIXTURE TO BE 1 PART GROUND PINE BARK TO 6 PARTS TOPSOIL PER SPECIFICATIONS.
- PLANT ROOTBALL IN A PIT THAT IS 24" WIDER THAN THE ROOT BALL IN CLAY SOIL AND 12" WIDER THAN THE ROOT BALL IN SANDY SOIL.
- FOR PLANTING AREAS WHERE SOIL HAS BEEN COMPACTED BY EQUIPMENT, CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SHRUBS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY DID AT THE NURSERY PRIOR TO DIGGING.
- PLANT PITS ARE ONLY FOR INDIVIDUAL PLANTS. FOR MASS PLANTINGS, PREPARE THE ENTIRE PLANT BED AREA.

SHRUB PLANTING  
SCALE: NTS

4

Outdoor Lighting  
Shoobox LED



The energy-efficient Shoobox LED combines a decorative, contemporary style with versatility and ample lighting effect that is perfect for streets, parking lots, commercial buildings and residential communities. The Shoobox LED provides excellent color rendition along with a controlled light pattern that reduces glare and keeps the light directed only where you want it. Available in black, dark bronze, gray or white with one to four fixtures per pole.

- LED 150w, 220, 420, 530 watts (Light Emitting Diode)
- Mounting heights 25', 30', 35'
- Colors Black, Bronze, Gray, White
- Flangeless (1 or 2 fixtures per pole) Decorative tapered metal
- Poles Decorative square metal

Note: 35' pole available in black or bronze only.

For additional information, visit us at [duke-energy.com/OutdoorLighting](http://duke-energy.com/OutdoorLighting) or call us toll free at 866.795.6417



Outdoor Lighting  
Shoobox LED

Light source: LED (A19)  
Replacement for: LED Voltage 150 - 250 watt HPS and metal halide; LED Voltage 205 - up to 400 watt metal halide  
LED Voltage 305 - 1,000 watt metal halide  
Warm-up and restrike time: Instant on (no warm-up or restrike time)

Wattage	IESNA Rating	Light Pattern	Lumens	Color Temp
LED 150	85-100-G3	IESNA Type IV (downward throw)	19580	4,000K
LED 220	85-100-G3	IESNA Type III (downward throw)	19000	
LED 220	85-100-G3	IESNA Type IV (downward throw)	25670	
LED 220	83-100-G4	IESNA Type IV (forward throw)	24300	
LED 220	85-100-G4	IESNA Type III (downward throw)	25114	
LED 420	85-100-G5	IESNA Type V (downward throw)	48514	
LED 420	83-100-G5	IESNA Type IV (forward throw)	43765	
LED 530	85-100-G5	IESNA Type V (downward throw)	60208	
LED 530	83-100-G5	IESNA Type IV (forward throw)	54395	

\* These are approximate replacement suggestions; actual conditions could be different.

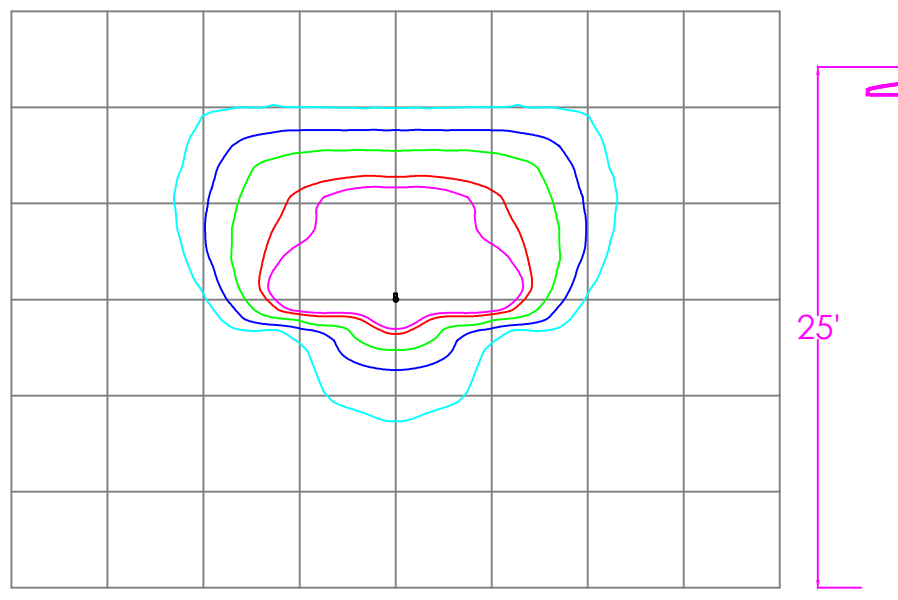
Poles available:	Mounting height	Color
None	35'	Black, Bronze
Round tapered decorative metal*	35'	Black, Bronze, Gray, White
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Flangeless	30'	Black (1 or 2 fixtures per pole), Gray (1 or 2 fixtures per pole)

Features: Little or no installation cost; Free up capital for other projects; Design services by lighting professionals included; Maintenance included; Electricity included; Warranty included; One-time monthly cost on your electric bill; Turnkey operation; Backed by over 40 years of experience.

\* 2" raised foundation available when required on metal poles only.

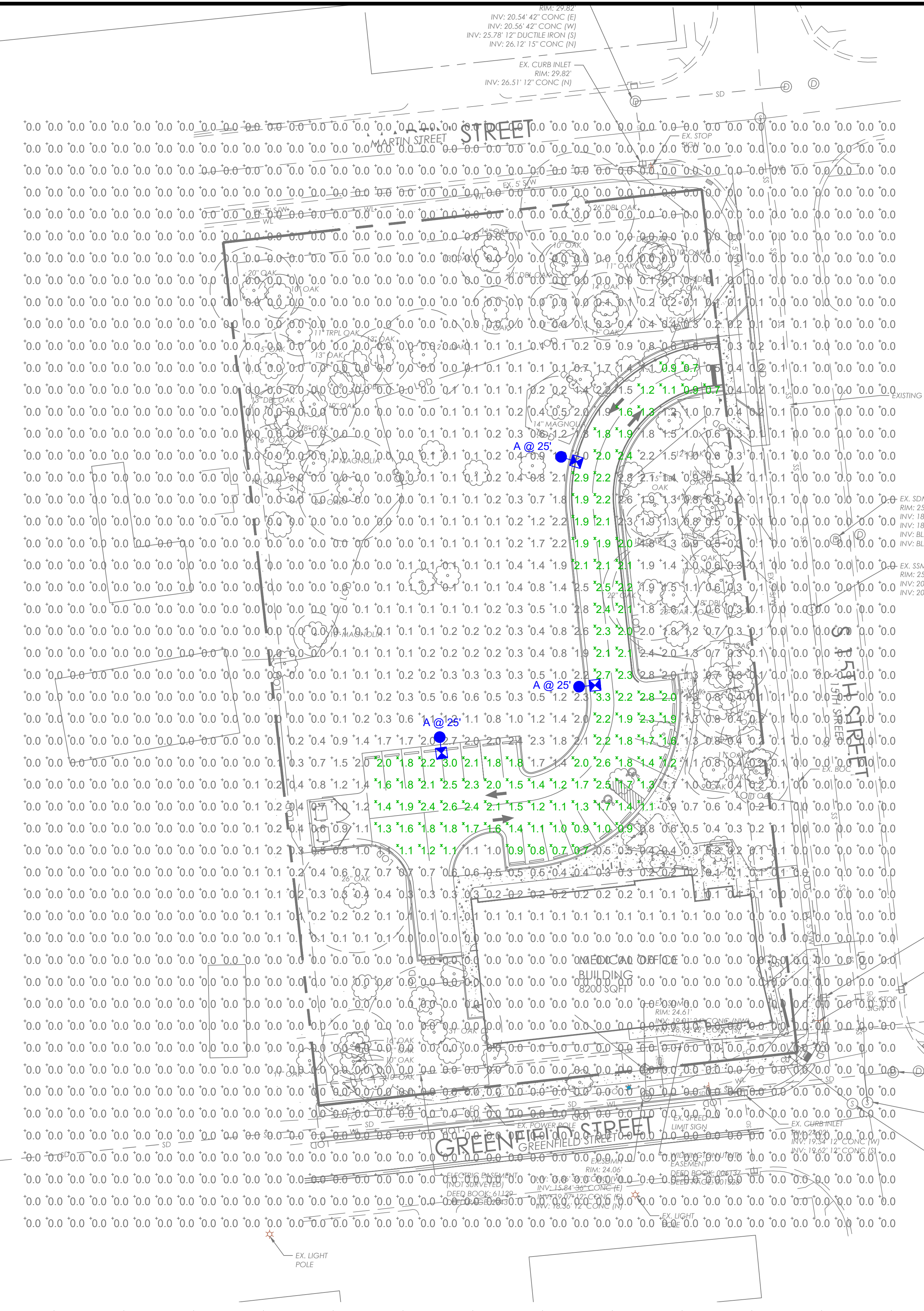
ISOFOOTCANDLE CURVES

NOTE: LED 150w SHOODOX MOUNTING HEIGHT: 25 FT (SCALE: 1"=10'-0" (1:120))  
ADJUST IESNA BEAM ANGLE TO MATCH THE FOLLOWING: P (BLACK), B (BRONZE), G (GRAY), W (WHITE)  
PATTERN: TYPE IV (85-100-G4) (beam light at or above 90 degrees)  
NOTE: THE FOOTCANDLE READINGS BELOW ARE UNADJUSTED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE LIGHT DEPRECIATION. FOR METAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER TO INNER): 0.10, 0.25, 0.50, 1.00, 1.25

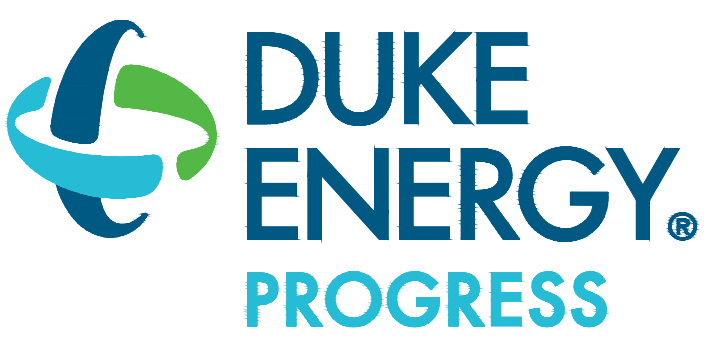
S 14TH STREET



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	X	1.8 fc	3.3 fc	0.7 fc	4.7:1	2.6:1

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
X	A	3	LED 150w Shoobox - Type IV - 4000K	48	385	0.85

**LIGHTING DESIGN TOLERANCE**  
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

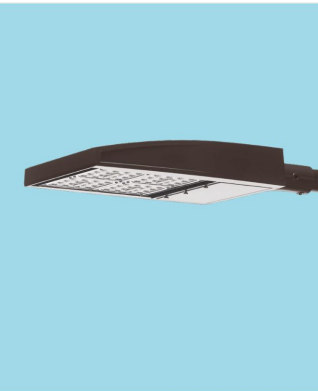


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NOVANT CLINIC	
1410 S. 15TH Street, Wilmington NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 30'
Date	10/27/2022 Size Drawing size "D"
Description	LED Shoobox
Drawing No.	22-0314B Sht. 1 OF 1

Rev B	10/27/22	Updated Site Plan	NJ
NO.	DATE	REVISION	BY

Outdoor Lighting  
Shoobox LED



The energy-efficient Shoobox LED combines a decorative, contemporary style with versatility and ample lighting effect that is perfect for streets, parking lots, commercial buildings and residential communities. The Shoobox LED provides excellent color rendition along with a controlled light pattern that reduces glare and keeps the light directed only where you want it. Available in black, dark bronze, gray or white with one to four fixtures per pole.

- LED 150, 220, 420, 530 watts  
(Light Emitting Diode)
- Mounting heights 25', 30', 35'
- Colors  
Black  
Bronze  
Gray  
White
- Fixtures (1 or 2 fixtures per pole)  
Decorative tapered metal  
Decorative square metal
- Note: 35' pole available in black or bronze only.

For additional information, visit us at [duke-energy.com/outdoor-lighting](http://duke-energy.com/outdoor-lighting) or call us toll free at 866.795.6417.



Outdoor Lighting  
Shoobox LED

Light source: LED (white)

Replacement for\* LED Voltage 150 - 250-watt HPS and metal halide;  
LED Voltage 205 - up to 400-watt metal halide;  
LED Voltage 305 - 1,000-watt metal halide

Warm-up and restrike time: Instant on (no warm-up or restrike time)

Wattage	BUG Rating	Light Pattern	Lumens	Color Temp
LED 150	B5-UG-G3	IESNA Type V (downward)	19580	4,000K
LED 150	B5-UG-G4	IESNA Type IV (downward throw)	18459	4,000K
LED 150	B2-UG-G3	IESNA Type III (upward)	19006	4,000K
LED 220	B5-UG-G3	IESNA Type V (downward)	25670	4,000K
LED 220	B3-UG-G4	IESNA Type IV (forward throw)	24390	4,000K
LED 220	B2-UG-G4	IESNA Type III (down)	25114	4,000K
LED 420	B5-UG-G5	IESNA Type V (downward)	48914	4,000K
LED 420	B3-UG-G5	IESNA Type IV (forward throw)	43765	4,000K
LED 530	B5-UG-G5	IESNA Type V (downward)	60298	4,000K
LED 530	B3-UG-G5	IESNA Type IV (forward throw)	54395	4,000K

\* These are approximate replacement suggestions; actual conditions could be different.

Poles available:

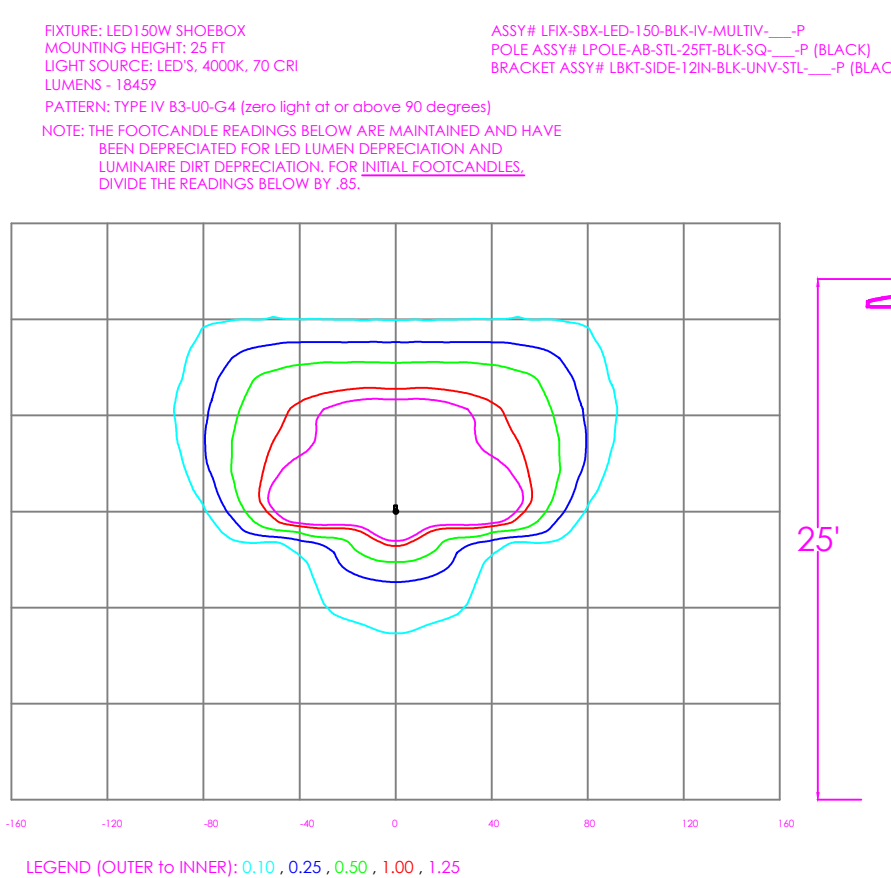
Mounting height	Color
35'	Black Bronze
25' and 30'	Black Bronze Gray White
30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

Features

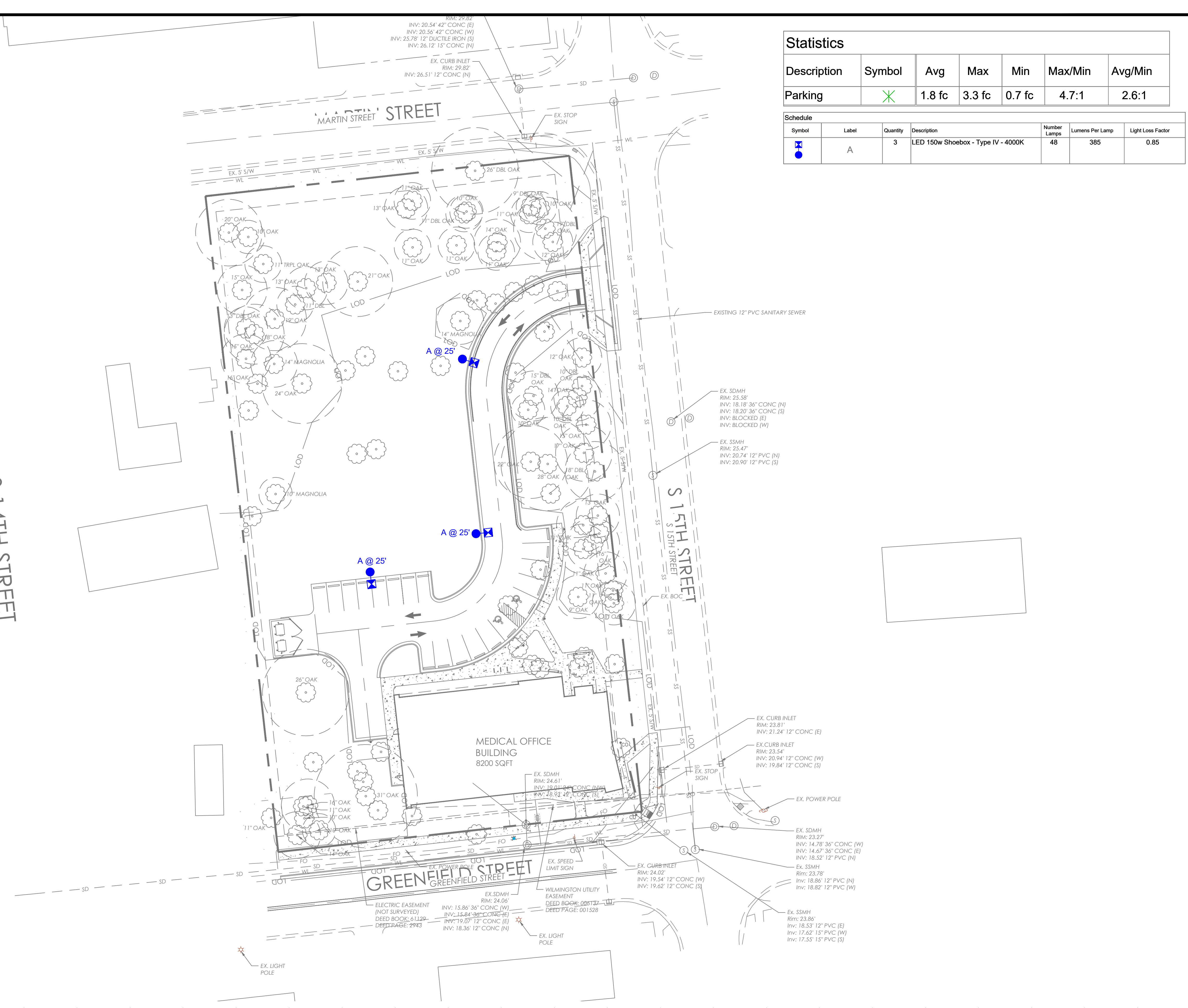
Benefits
Little or no installation cost
Design services by lighting professionals included
Maintenance included
Electricity included
Warranty included
One low monthly cost on your electric bill
Turnkey operation
Backed by over 40 years of experience

\*2' raised foundation available when required on metal poles only.

ISOFOOTCANDLE CURVES



S 14TH STREET

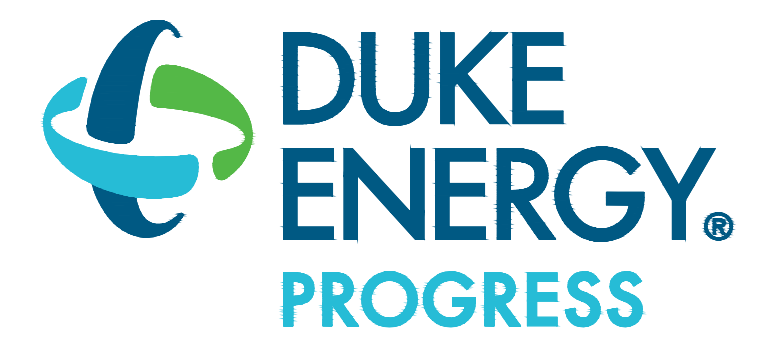


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.8 fc	3.3 fc	0.7 fc	4.7:1	2.6:1

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
✕	A	3	LED 150w Shoobox - Type IV - 4000K	48	385	0.85

**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

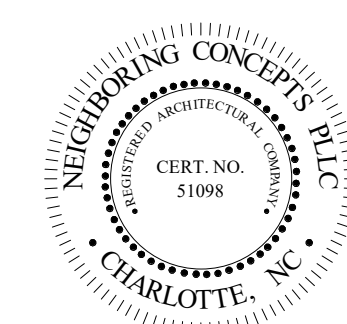


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NOVANT CLINIC	
1410 S. 15TH Street, Wilmington NC	
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Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 30'
Date	10/27/2022 Size Drawing size "D"
Description	LED Shoobox
Drawing No.	22-0314B Sht. 1 OF 1

Rev B	10/27/22	Updated Site Plan	NJ
NO.	DATE	REVISION	BY



10.28.2022

**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC 28401

No.	Description	Date

**100% CONSTRUCTION DOCUMENTS**

**EXTERIOR ELEVATIONS**

ISSUE DATE 10/28/2022

CHECKED GB/FL

SHEET BY AB

PROJECT NUMBER 21-025

**A201**

**EXTERIOR COLOR LEGEND**

B1	WHITE NORMAN BRICK - TBD
PB1	BLACK 8" POLISHED MASONRY BLOCK - TBD
PS1	WOOD GRAIN PHENOLIC SIDING - TBD

PAINT COLORS TO BE COORDINATED DURING CONSTRUCTION WITH ARCHITECT AND OWNER. COLORS TO BE SIMILAR TO WHAT WAS APPROVED BY NCHFA.

**EXTERIOR SYMBOL LEGEND**

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

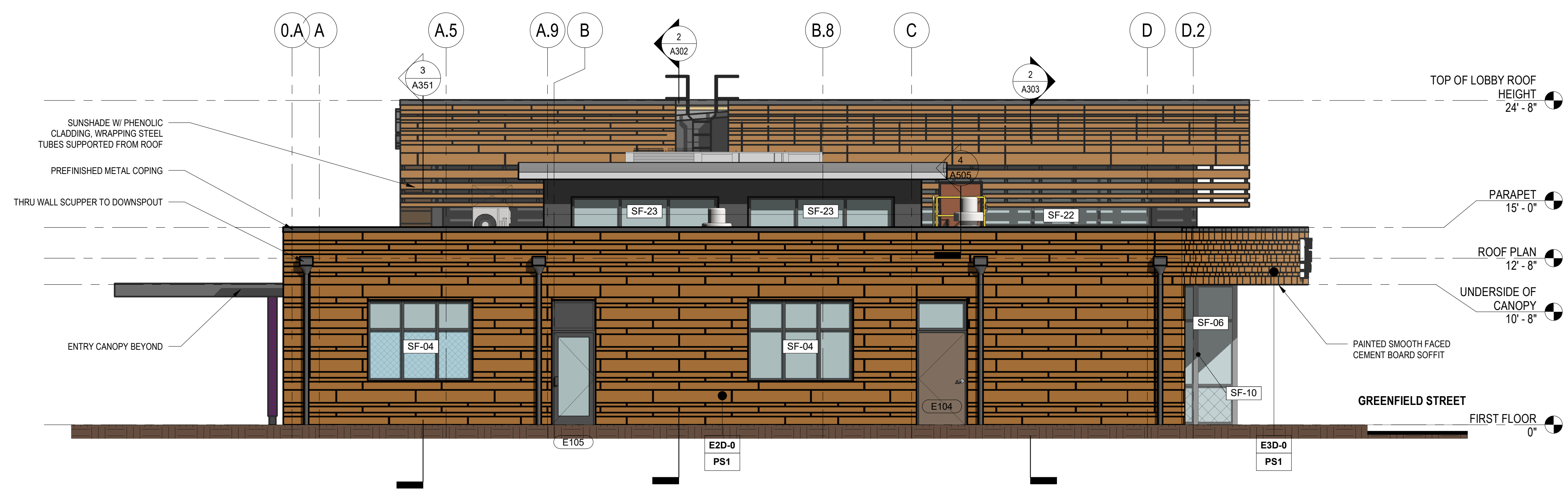
- DOOR TAG
- WINDOW TAG (REFER TO A602 FOR WINDOW SIZES AND INFORMATION)
- D.S. DOWNSPOUT LOCATION
- C.J. CONTROL JOINT LOCATION
- CENTER LINE
- SECTION DETAIL
- ENLARGED VIEW
- SPOT ELEVATION MARKERS
- LEVEL MARKER

- E1-A0 EXTERIOR ASSEMBLY TYPE. SEE A030 FOR ASSEMBLY TYPES
- P1 EXTERIOR FINISH COLOR. SEE COLOR LEGEND

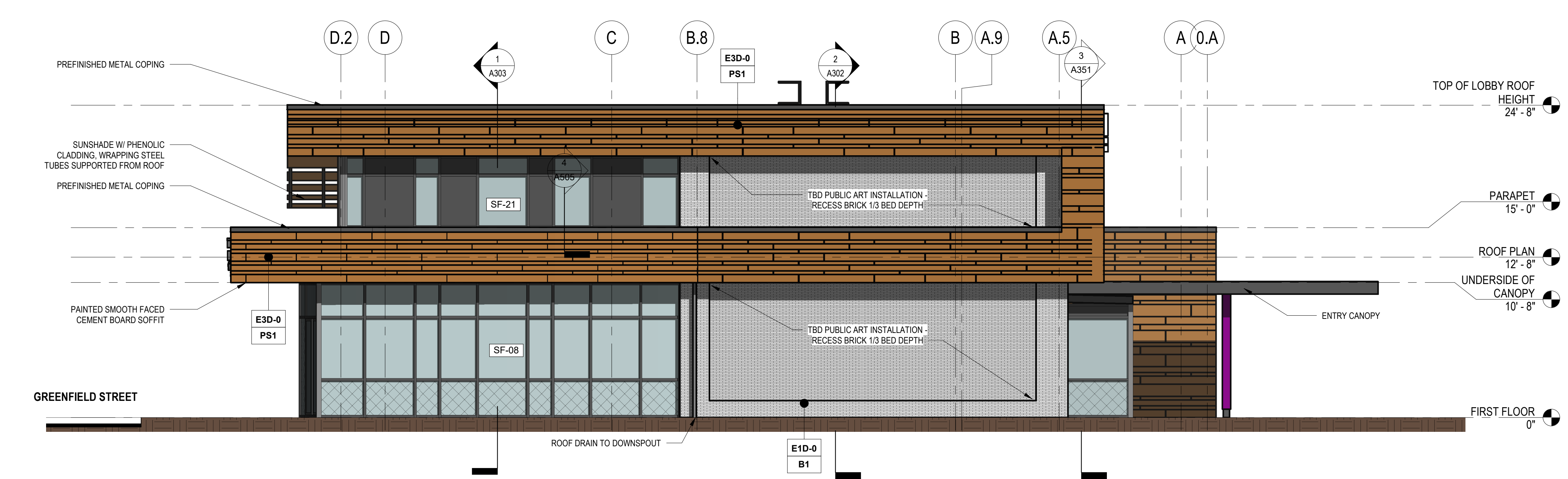
**ELEVATION NOTES**

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED (ONE SIDE ONLY). PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY FIRE MARSHALL. ADDRESS NUMBERS TO BE ILLUMINATED.
- FACE OF SLAB SHALL NOT BE EXPOSED AT SLOPED EXTERIOR PAVING CONDITIONS. COORDINATE EXT. PAVING CONDITIONS WITH CIVIL, TYP.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS FOR DOWNSPOUTS W/OUT TIE-INS.
- VERTICAL CONTROL JOINTS ARE ILLUSTRATED FOR REFERENCE PURPOSES IN BUILDING ELEVATIONS. CJS ARE RECOMMENDED WHERE TRANSITIONS IN BRICK HEIGHT OCCUR. AT THE CORNERS OF LARGE OPENINGS, ALL INSIDE CORNERS, WITHIN 1' OF OUTSIDE CORNERS AND A MAXIMUM OF 30' O.C. MASONRY CONTRACTOR TO PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- NO MASONRY CORE HOLES SHALL BE EXPOSED, TYP. CLOSURE (SOLID CORE) MASONRY SHALL BE USED WHERE CORE HOLES WOULD OTHERWISE BE EXPOSED TO ELEMENTS.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE UNLESS OTHERWISE NOTED, TYP.
- ALL PENETRATIONS, INCLUDING WINDOWS AND DOORS, SHALL BE SEALED TO THE BACKUP WALL AT THE PRIMARY MOISTURE BARRIER.
- ALL EXTERIOR FIBER CEMENT SOFFITS TO BE PAINTED UNLESS NOTED OTHERWISE.
- ALL CAULKING IS TO MATCH ADJACENT SURFACES.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY SEGMENTS BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.



**1 WEST ELEVATION**  
A201 SCALE: 3/16" = 1'-0" R.E. = 1/A101



**2 EAST ELEVATION**  
A201 SCALE: 3/16" = 1'-0" R.E. = 1/A101





10.28.2022

**EXTERIOR COLOR LEGEND**

B1	WHITE NORMAN BRICK - TBD
PB1	BLACK 8" POLISHED MASONRY BLOCK - TBD
PS1	WOOD GRAIN PHENOLIC SIDING - TBD

PAINT COLORS TO BE COORDINATED DURING CONSTRUCTION WITH ARCHITECT AND OWNER. COLORS TO BE SIMILAR TO WHAT WAS APPROVED BY NCHFA.

**EXTERIOR SYMBOL LEGEND**

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

	DOOR TAG
	WINDOW TAG (REFER TO A602 FOR WINDOW SIZES AND INFORMATION)
	D.S. DOWNSPOUT LOCATION
	C.J. CONTROL JOINT LOCATION
	CL CENTER LINE
	SECTION DETAIL
	ENLARGED VIEW
	SPOT ELEVATION MARKERS
	LEVEL MARKER
	EXTERIOR ASSEMBLY TYPE. SEE A030 FOR ASSEMBLY TYPES
	EXTERIOR FINISH COLOR. SEE COLOR LEGEND

**ELEVATION NOTES**

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- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS FOR DOWNSPOUTS W/OUT TIE-INS.
- VERTICAL CONTROL JOINTS ARE ILLUSTRATED FOR REFERENCE PURPOSES IN BUILDING ELEVATIONS. CJS ARE RECOMMENDED WHERE TRANSITIONS IN BRICK HEIGHT OCCUR. AT THE CORNERS OF LARGE OPENINGS, ALL INSIDE CORNERS, WITHIN 1/4" O.C. MASONRY CONTRACTOR TO PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
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- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE UNLESS OTHERWISE NOTED, TYP.
- ALL PENETRATIONS, INCLUDING WINDOWS AND DOORS, SHALL BE SEALED TO THE BACKUP WALL AT THE PRIMARY MOISTURE BARRIER.
- ALL EXTERIOR FIBER CEMENT SOFFITS TO BE PAINTED UNLESS NOTED OTHERWISE.
- ALL CAULKING IS TO MATCH ADJACENT SURFACES.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY SEGMENTS BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.

**NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC 28401

No.	Description	Date

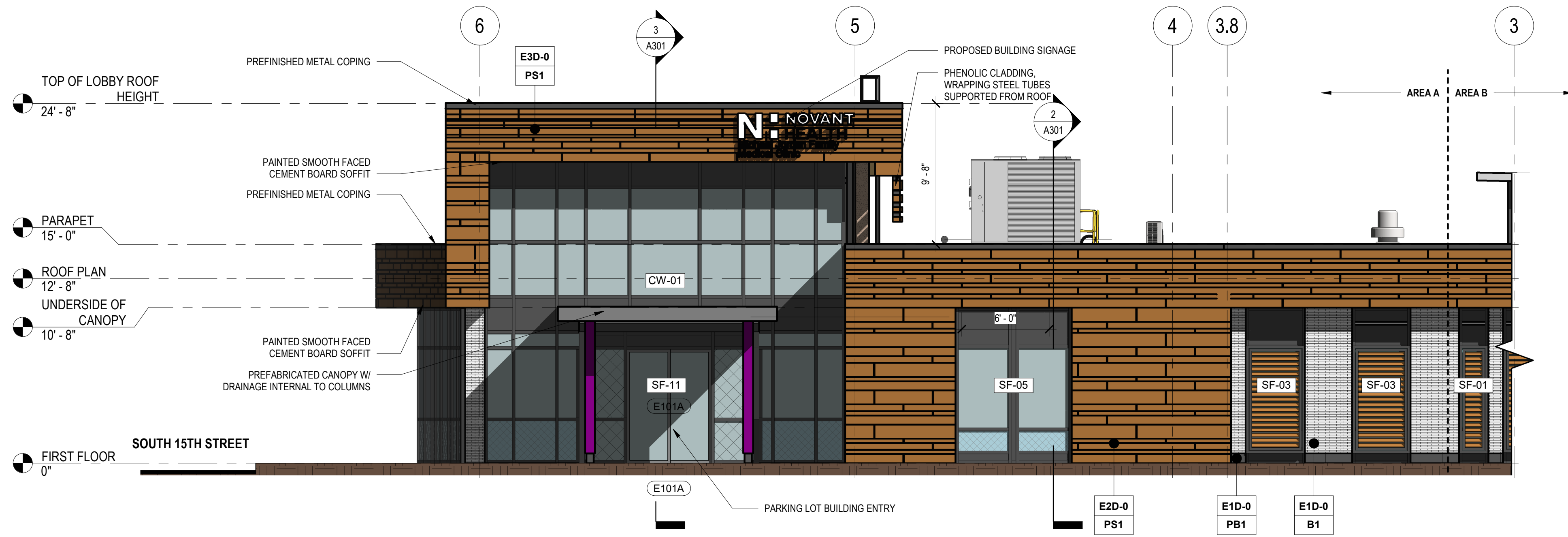
**100% CONSTRUCTION DOCUMENTS**

**EXTERIOR ELEVATIONS**

ISSUE DATE **10/28/2022**

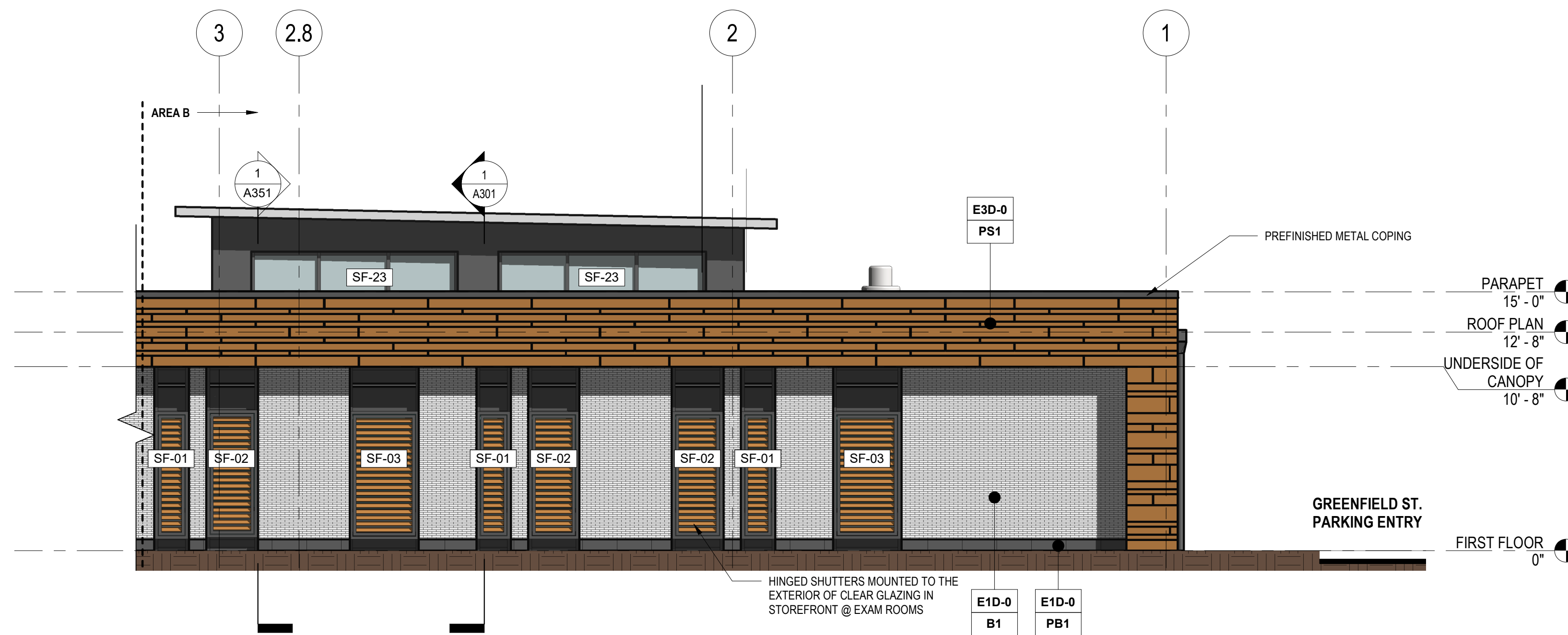
CHECKED GB/FL  
SHEET BY AB  
PROJECT NUMBER 21-025

**A202**



**1 NORTH ELEVATION A**

A202 SCALE: 3/16" = 1'-0" R.E. = 1/A101



**2 NORTH ELEVATION B**

A202 SCALE: 3/16" = 1'-0" R.E. = 1/A101

### EXTERIOR COLOR LEGEND

B1	WHITE NORMAN BRICK - TBD
PB1	BLACK 8" POLISHED MASONRY BLOCK - TBD
PS1	WOOD GRAIN PHENOLIC SIDING - TBD

PAINT COLORS TO BE COORDINATED DURING CONSTRUCTION WITH ARCHITECT AND OWNER. COLORS TO BE SIMILAR TO WHAT WAS APPROVED BY NCHFA.

### EXTERIOR SYMBOL LEGEND

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

- DOOR TAG
- WINDOW TAG (REFER TO A602 FOR WINDOW SIZES AND INFORMATION)
- D.S. DOWNSPOUT LOCATION
- C.J. CONTROL JOINT LOCATION
- CENTER LINE
- SECTION DETAIL
- ENLARGED VIEW
- SPOT ELEVATION MARKERS
- LEVEL MARKER

**E1-A0** ← EXTERIOR ASSEMBLY TYPE. SEE A300 FOR ASSEMBLY TYPES  
**P1** ← EXTERIOR FINISH COLOR. SEE COLOR LEGEND

### ELEVATION NOTES

- SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC NOTES
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  - VERTICAL CONTROL JOINTS ARE ILLUSTRATED FOR REFERENCE PURPOSES IN BUILDING ELEVATIONS. CJS ARE RECOMMENDED WHERE TRANSITIONS IN BRICK HEIGHT OCCUR. AT THE CORNERS OF LARGE OPENINGS, ALL INSIDE CORNERS, WITHIN 1' OF OUTSIDE CORNERS AND A MAXIMUM OF 30' O.C. MASONRY CONTRACTOR TO PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
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  - ALL CAULKING IS TO MATCH ADJACENT SURFACES.
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**neighboring concepts**  
 ARCHITECTURE ■ PLANNING ■ INTERIORS  
 1635 West Trade Street, Suite 1A  
 Charlotte, North Carolina 28216  
 T:704.374.0916 F:704.342.3808  
 www.neighboringconcepts.com

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10.28.2022

### NOVANT HEALTH FAMILY MEDICAL CLINIC - GREENFIELD

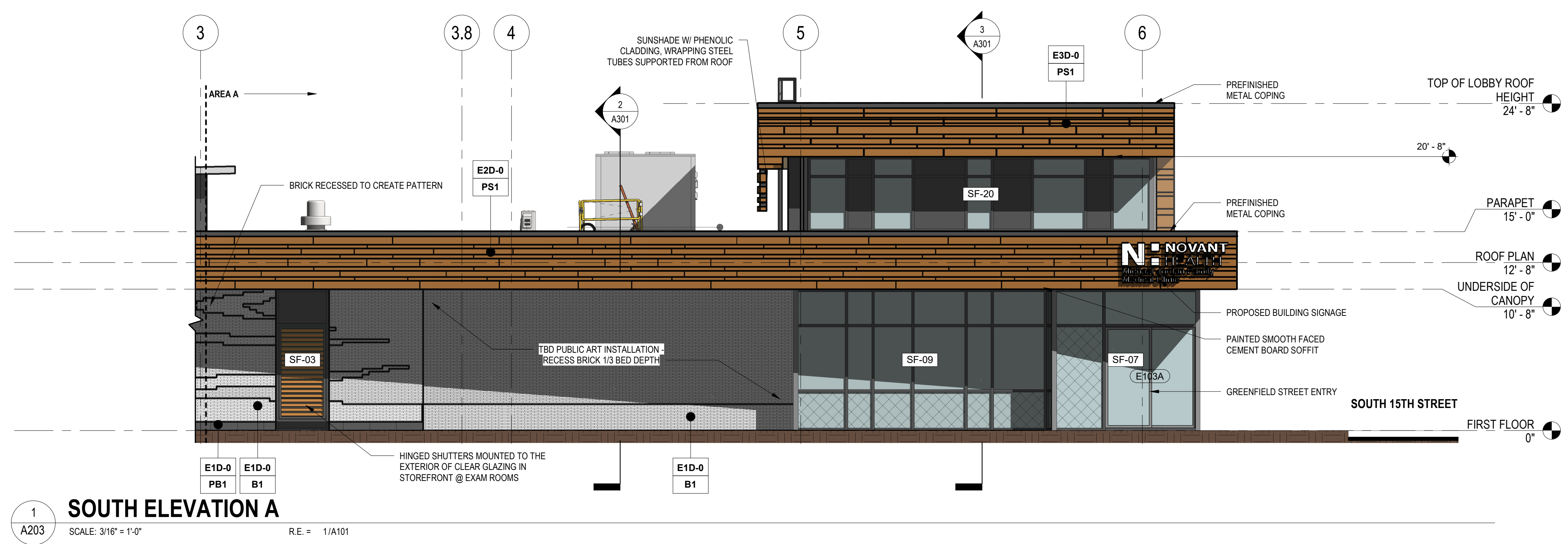
1423 GREENFIELD STREET, WILMINGTON, NC 28401

No.	Description	Date

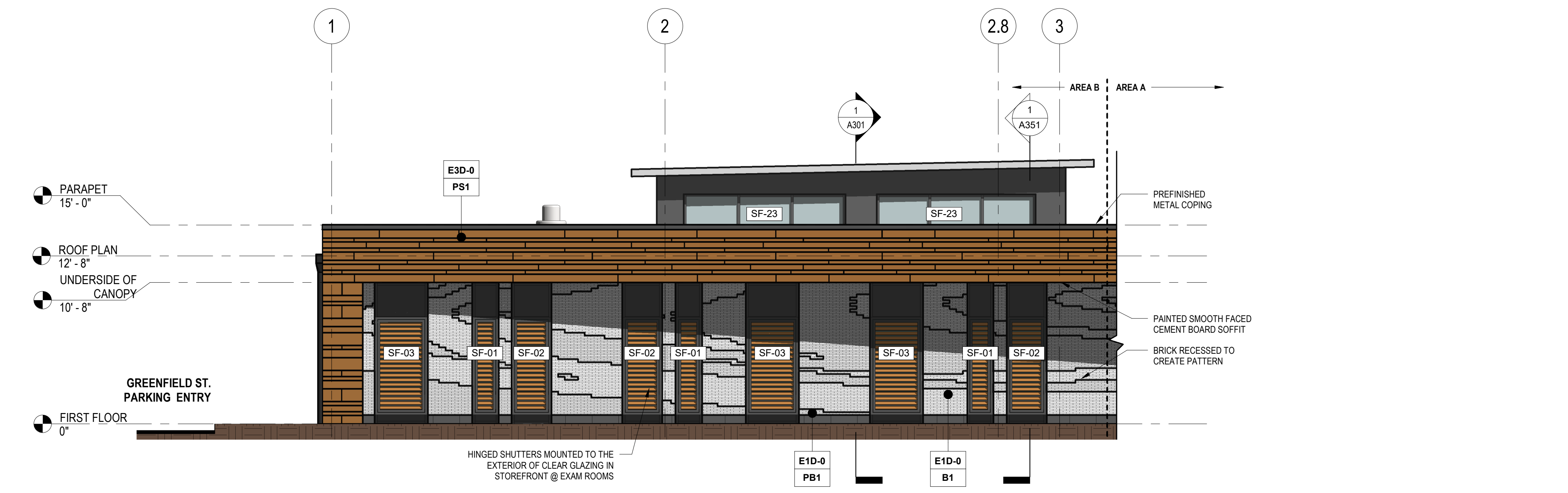
### 100% CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS  
 ISSUE DATE 10/28/2022  
 CHECKED GB/FL  
 SHEET BY AB  
 PROJECT NUMBER 21-025

# A203



**1 SOUTH ELEVATION A**  
 SCALE: 3/16" = 1'-0" R.E. = 1/A101



**2 SOUTH ELEVATION B**  
 SCALE: 3/16" = 1'-0" R.E. = 1/A101

BIM 360/21-025 Novant Md Clinic Wilmington/21\_025\_Novant Md Family Medical Clinics - Wilmington\_NC.rvt  
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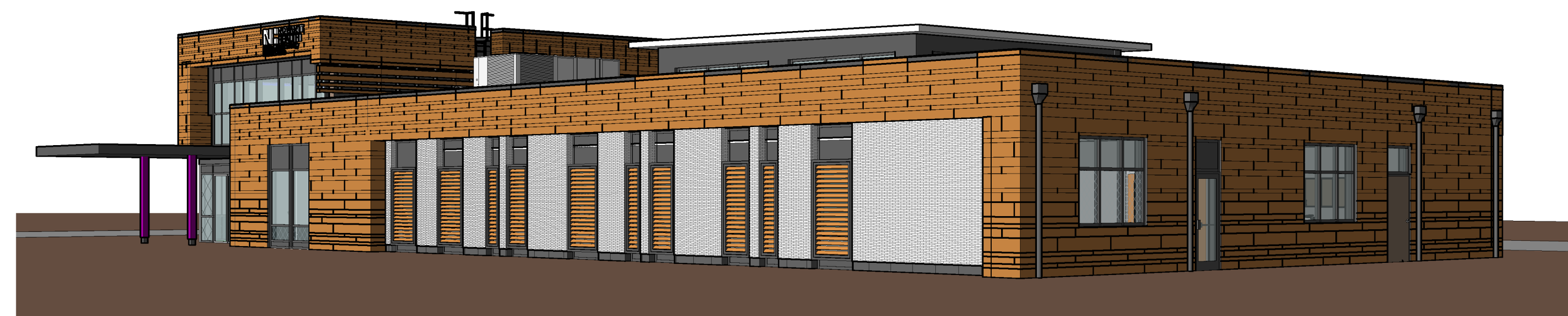
10.28.2022



1  
A211  
3D SOUTHEAST CORNER  
NOT TO SCALE



2  
A211  
3D SOUTHWEST CORNER  
NOT TO SCALE



3  
A211  
3D NORTHWEST CORNER  
NOT TO SCALE



4  
A211  
3D NORTHEAST CORNER  
NOT TO SCALE

**NOVANT HEALTH  
FAMILY MEDICAL  
CLINIC -  
GREENFIELD**

1423 GREENFIELD STREET,  
WILMINGTON, NC 28401

No.	Description	Date

**100%  
CONSTRUCTION  
DOCUMENTS**

**3D VIEWS**

ISSUE DATE 10/28/2022

CHECKED  
SHEET BY Author  
PROJECT NUMBER 21-025

**A211**