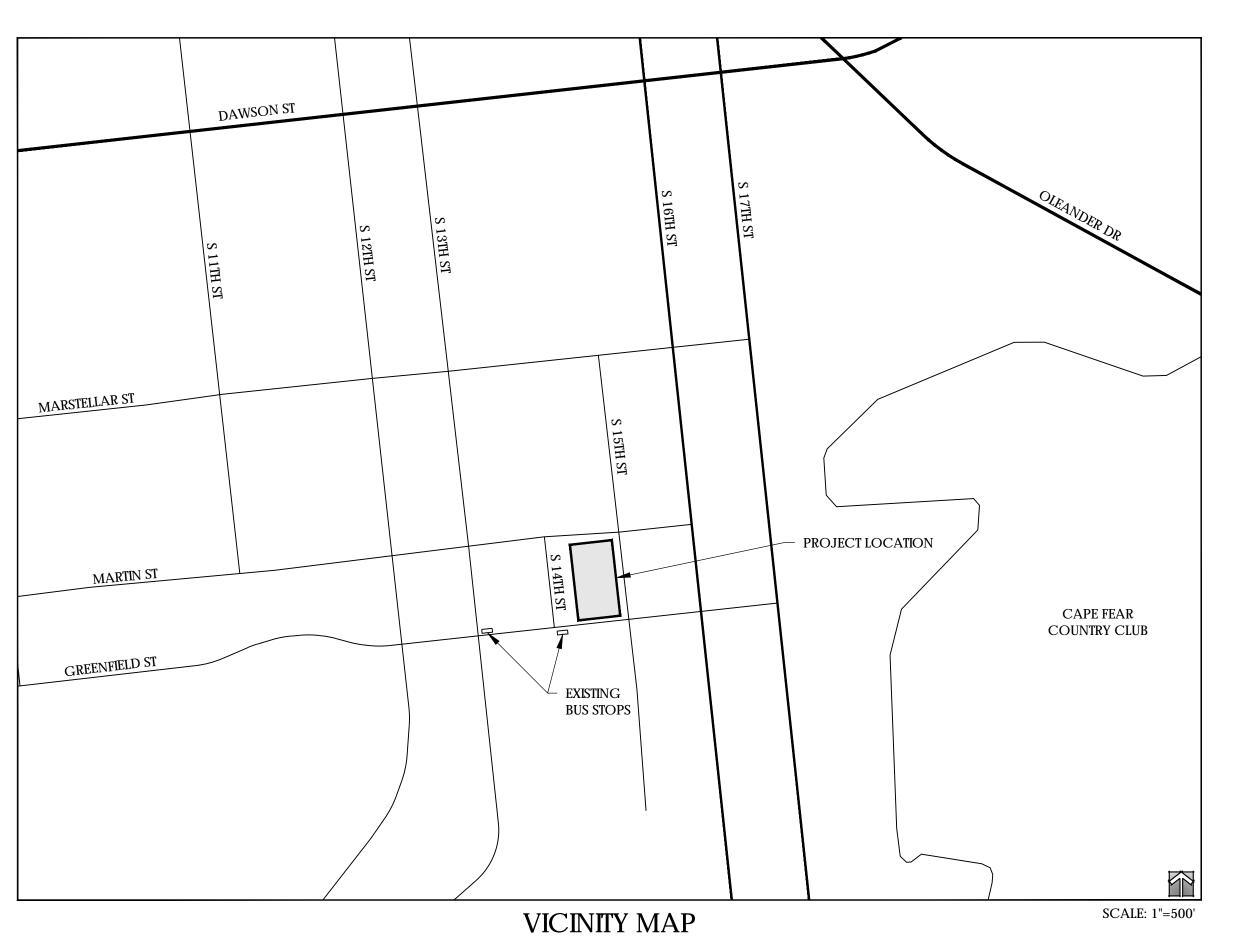
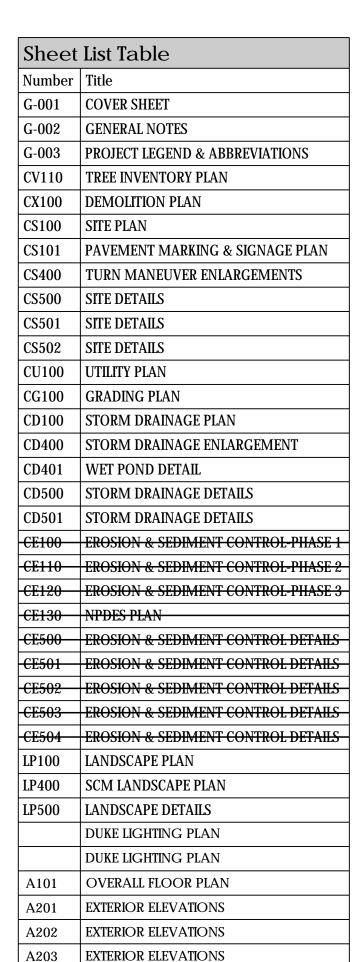
# NOVANT HEALTH FAMILY MEDICAL CLINIC- GREENFIELD

1423 GREENFIELD STREET WILMINGTON | NORTH CAROLINA | 28401

# PERMIT SET FOR REVIEW ONLY

Submittal: NOVEMBER 2, 2022





**RECEIVED** 

By Jeff Walton at 2:31 pm, Nov 02, 2022

SHEETS THAT ARE CROSSED THROUGH IN THE ABOVE SHEET INDEX ARE NOT INCLUDED WITHIN THIS PERMIT SUBMITTAL.

A211 3D VIEWS

3 WORKING DAYS BEFORE YOU DIG FOR THE LOCATION OF Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOVANT HEALTH FAMILY MEDICAL CLINIC -

ARCHITECTURE PLANNING INTERIORS

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**GREENFIELD** 

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

**COVER SHEET** 

J. ADRIATICO PROJECT NUMBER

PERMITS PERMIT NUMBER NEW HANOVER COUNTY EROSION

PERMIT

STATE SEWER PERMIT

STATE WATER PERMIT

WINSTON-SALEM, NC 27104 CONTACT PERSON: MARY ANNA PHILLIPS EMAIL: MARY.PHILLIPS@NOVANTHEALTH.ORG SURVEYOR

ACRO DEVELOPMENT SERVICES

PROJECT TEAM

NOVANT HEALTH

OWNER/DEVELOPER

3600 COUNTRY CLUB DR STE 201

CONTACT PERSON: PH: (704) 716-5680

LANDSCAPE ARCHITECT

CONTACT PERSON: LAUREN DICKSON, PLA PH: (919) 473-9003 EMAIL: LDICKSON@SEPIINC.COM

ARCHITECT NEIGHBORING CONCEPTS 1635 WEST TRADE ST STE 1A CHARLOTTE, NC 28216

CONTACT PERSON: GARRETT BUELL PH: (704) 374-0913 EXT. 2500 EMAIL: GARRETT@NEIGHBORINGCONCEPTS.COM

CIVIL ENGINEER SEPI [A DIVISION OF TRANSYSTEMS] 1 GLENWOOD AVE STE 600 RALEIGH, NC 27603

CONTACT PERSON: DAN MILLER, PE PH: (919) 789-9977 EMAIL: DMILLER@SEPIINC.COM

> ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS

601 S. CEDAR ST. STE 101 CHARLOTTE, NC 28202

EMAIL: EMILLER@ACRO-DS.COM

SEPI [A DIVISION OF TRANSYSTEMS] 1 GLENWOOD AVE STE 600 RALEIGH, NC 27603

#### GENERAL EXISTING CONDITIONS NOTES

- 1. THE LOCATION AND SIZE OF EXISTING UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTAL AND VERTICAL LOCATION AND THE PROTECTION OF ALL PUBLIC OR PRIVATE UTILITIES (SHOWN AND NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE
- 2. EXISTING SITE BOUNDARY AND TOPOGRAPHIC, UTILITY AND OFF-SITE ROADWAY SURVEY INFORMATION WAS TAKEN FROM SURVEY BY ACRO DEVELOPMENT SERVICES, PERFORMED SEPTEMBER 29,2021. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- 3. THIS SITE IS/IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED

ON F.I.R.M. MAP NO. 3720312700K, DATED AUGUST 28, 2018 AS BEING WITHIN ZONE "X-OTHER AREA".

#### GENERAL DEMOLITION NOTES

- 1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL
- 2. ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING. 3. IN GENERAL, FEATURES TO BE REMOVED UNDER THIS CONTRACT SHALL BE INDICATED ON THE DEMOLITION
- AND EROSION CONTROL PLANS ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS SHOWN ON THE PLANS TO ALLOW FOR
- NEW CONSTRUCTION: ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN, AND
- TO BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL CONTACT OWNER IN EVENT REMOVAL/MODIFICATION OF FEATURE(S) NOT
- PERMITTED BECOMES REQUIRED TO COMPLETE THE WORK. CONTRACTOR WILL WAIT FOR DIRECTION FROM OWNER PRIOR TO PROCEEDING.
- 4. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION
- 5. PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT DESIGNER IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS
- 6. ALL MATERIAL TO BE DEMOLISHED, DEMOLITION DEBRIS AND OTHER EXCESS WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE AS DIRECTED BY THE OWNER, IN ACCORDANCE WITH ALL LOCAL, STATE, AND
- 7. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK. CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
- 8. TREE PROTECTION FENCING SHALL BE INSTALLED AS REQUIRED PRIOR TO BEGINNING CLEARING **OPERATIONS**
- 9. CLEAR AND GRUB ALL AREAS AS SHOWN ON THE PLANS AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION, PER SPECIFICATIONS AND DRAWINGS.
- 10. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL NOT SHOWN TO BE REMOVED ON THE PLANS
- 11. AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN SHARP VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA PRIOR TO OR AT THE SAME TIME AS SILT FENCE AND OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREE IS COMPLETE. NO STORAGE OF FILL, MATERIALS, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE
- BOUNDARY OF THE PROTECTED AREA. 12. ROOT PROTECTION ZONE FOUALS ONE FOOT OF RADIUS FOR EVERY INCH OF DIAMETER OF EXISTING TREES OR SIX-FOOT RADIUS, WHICHEVER IS GREATER, NO DISTURBANCE ALLOWED WITHIN THE AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
- 13. ALL EXISTING UNDERGROUND ELEMENTS/UTILITIES SHOWN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO LAND DISTURBING ACTIVITIES. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CALL "811" FOR PROPER IDENTIFICATION OF EXISTING
- 14. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY DESIGNER AND REPAIR IMMEDIATELY AS DIRECTED.
- 15. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR

#### GENERAL EROSION AND SEDIMENT CONTROL NOTES

SHALL BE REMOVED ONLY AFTER APPROVAL OF DESIGNER.

- 1. TOTAL LIMITS OF DISTURBANCE: ± 64,693 SF / 1.48 AC
- 2. REFER TO PHASED EROSION AND SEDIMENT CONTROL PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING LAND CLEARING OR CONSTRUCTION ACTIVITIES.
- 3. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. 4. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF
- PRODUCING RAINFALL EVENT. AS DIRECTED BY LOCAL AUTHORITIES. NEEDED REPAIRS WILL BE MADE 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY. SEEDED AREAS SHALL
- BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO ORTAIN A DENSE STAND OF GRASS
- 6. CONTRACTOR SHALL PERFORM SELF-INSPECTIONS AFTER EACH PHASE OF THE PROJECT UNTIL AFTER FINAL STORMWATER/SITE STABILIZATION INSPECTION AND THE SITE IS APPROVED AS STABILIZED
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOW ON THE PLANS. 8. ALL 3:1 SLOPES SHALL BE STABILIZED WITH 'NO-MOW' NATURALIZED SEED MIX AND EROSION CONTROL
- 9. INSTALL PERMANENT SEEDING ALONG ALL ROADSIDE DITCHES AND CHANNELS WITHIN CONSTRUCTION
- LIMITS OF PROJECT. ROADSIDE DITCHES AND CHANNELS SHALL BE STABILIZED DAILY UNTIL PERMANENT GROUND COVER IS ESTABLISHED 10. ALL EROSION & SEDIMENT CONTROL FENCING, FINAL INLET PROTECTIONS, FINAL PIPE INLET/OUTLET PROTECTIONS, AND TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL REMOVAL IS APPROVED
- AFTER FINAL STORMWATER/SITE STABILIZATION INSPECTION AND APPROVAL. 11 INSTALL SLOPE FROSION CONTROL MATTING ON TOP OF ALL SIDE SLOPES ON CHANNELS. DIVERSION DITCHES, TEMPORARY SEDIMENT BASINS AND TEMPORARY SEDIMENT CATCHES, PER MANUFACTURERS
- 12. INSTALL SLOPE EROSION CONTROL MATTING AS TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF
- GROUNDCOVER ON ALL TEMPORARY SLOPES GREATER THAN 6:1. INSTALL PER MANUFACTURERS SPECIFICATIONS
- 13. MINIMUM REQUIRED SLOPE PROTECTION FOR ALL SLOPES GREATER THAN 3:1: LESS THAN 10' ELEVATION CHANGE: MINIMUM JUTE NETTING
- GREATER THAN 10' ELEVATION CHANGE: MINIMUM NORTH AMERICAN GREEN S75 EROSION CONTROL MATTING OR EQUIVALENT
- 14. MAXIMUM GRADED SLOPE SHALL NOT EXCEED 2:1
- 15. GROUND COVER STABILIZATION SHALL BE IN ACCORDANCE WITH NPDES PERMIT AND THE GROUND
- STABILIZATION TABLE ON SHEET CE130. 16. DURING ALL PHASES OF CONSTRUCTION GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED FOLLOWING THE COMPLETION OF ANY PHASE OF GRADING, ACCORDING TO THE GROUND STABILIZATION
- 17. TEMPORARY CONSTRUCTION FENCE SHALL BE USED AS SHOWN ON THE PLANS TO INDICATE THE LIMITS OF DISTURBANCE AND/OR TO SECURE THE CONSTRUCTION SITE AS NECESSARY
- 18. ALL STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH
- 19. INITIAL STORMWATER INLET PROTECTION FOR NEW STORM STRUCTURES SHALL BE ROCK AND GRAVEL INLET
- PROTECTIONS 20. ALL ROCK AND GRAVEL INLET PROTECTIONS FOR STRUCTURES WITHIN PAVED AREAS SHALL BE CONVERTED
- 21. IF THE SAME PERSON CONDUCTS THE LAND-DISTURBING ACTIVITY & ANY RELATED BORROW OR WASTE ACTIVITY, THE RELATED BORROW OR WASTE ACTIVITY SHALL CONSTITUTE PART OF THE LAND-DISTURBING ACTIVITY UNLESS THE BORROW OR WASTE ACTIVITY IS REGULATED UNDER THE MINING ACT OF 1971, OR IS A LANDFILL REGULATED BY THE DIVISION OF WASTE MANAGEMENT. IF THE LAND-DISTURBING ACTIVITY AND ANY RELATED BORROW OR WASTE ACTIVITY ARE NOT CONDUCTED BY THE SAME PERSON, THEY SHALL BE

TO SILT BAG INLET PROTECTION TYPE DURING BASE PREPARATIONS FOR CURBING AND PAVEMENT

- CONSIDERED SEPARATE LAND-DISTURBING ACTIVITIES AND MUST BE PERMITTED EITHER THROUGH THE SEDIMENTATION POLLUTION CONTROL ACT AS A ONE-USE BORROW SITE OR THROUGH THE MINING ACT. 22. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT
- WITHIN THE BOUNDARIES OF THE SITE. 23. ALL NCDEQ INSPECTIONS SHALL BE SCHEDULED ONLINE AT:
- HTTPS://EDOCS.DEQ.NC.GOV/FORMS/NONDISCHARGE-BRANCH-SUBMITTAL-FORM

#### GENERAL SITE NOTES

- 1. ALL CONSTRUCTION, UNLESS SPECIFICALLY EXEMPTED BY STATE OR FEDERAL LAW, SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF WILMINGTON AND/OR NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE STANDARDS AND SPECIFICATION, THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCDEQ) STORMWATER DESIGN MANUAL, THE NORTH CAROLINA DEPARTMENT OF ENERGY, MINERAL AND LAND RESOURCES (NCDEMLR) EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, THE FINAL GEOTECHNICAL REPORT, AND GENERAL DESIGN STANDARDS. IN THE CASE OF A CONFLICT BETWEEN THE REQUIREMENTS, THE MORE RESTRICTIVE STANDARD
- 2. THE PROJECT LIMITS WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM THE SITE ENGINEER. SURVEYOR. OR ARCHITECT VERIFIES THAT THE SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE
- 3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO TRENCH SAFETY, DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH ALL STATE, LOCAL AND OSHA SAFETY STANDARDS. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO ALI CONSTRUCTION PERSONNEL AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND THE ADJOINING PROPERTY PROTECTED FROM DAMAGE
- 4. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OR CONTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- 6. WATER, FIRE PROTECTION, ELECTRICAL, AND SEWER SERVICES MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT, WITH THE EXCEPTION OF COORDINATED TIE-INS. 7. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND THE ACTUAL FIELD
- CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OS SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTORS RISK.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
- 9. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAY'S (PUBLIC OR PRIVATE) PRIOR TO WORKING IN THESE AREAS. 10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS
- COORDINATED WITH THE RESPECTIVE UTILITY.
- 11. ALL AREAS OUTSIDE THE "LIMITS OF CONSTRUCTION" SHALL REMAIN UNDISTURBED AT ALL TIMES 12. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR,
- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF, AND FEES RELATED TO, ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED

DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE PROVIDED TO THE DESIGNER AND OWNER

FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT WRITTEN

- 14. THE ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT/OWNER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 15. CONTRACTOR IS RESPONSIBLE FOR OBTAINING/ MAINTAINING PROPER SECURITY CREDENTIALS, AS REQUIRED, TO ALLOW FOR WORK ON SITE.
- 16. THE CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK. SUITABLE BARRIERS. FENCES. SIGNS. OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH ALL APPLICABLE SAFETY STANDARDS. CONTRACTOR WILL BE RESPONSIBLE FOR ONSITE DUST CONTROL.
- 17. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- 18. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR AND MAY BE PERFORMED USING A DIGITAL (CADD) FILE PROVIDED BY THE DESIGNER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THE PLANS (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE DESIGNER SHALL RENDER IT VOID.
- 19. BURYING CONSTRUCTION WASTE ON-SITE IS PROHIBITED.
- 20. NO PART OF THE DISTURBED SITE MAY BE LEFT UNCOVERED OR UNSTABILIZED ONCE CONSTRUCTION IS COMPLETE.
- 21. PLANT MATERIAL MUST BE NATIVE TO THE CLIMATE AND AREA.
- 22. TWELVE MONTH WARRANTY IS REQUIRED FOR ALL PLANTS AND MATERIALS.
- 23. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH THE CITY OF WILMINGTON STAFF, THE DESIGNER, AND THE
- 24. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. 25. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN. CONTACT THE
- DESIGNER IF ANY DISCREPANCIES OCCUR. 26. GENERAL BUILDING DIMENSIONS ARE SHOW ON THE PLANS. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC
- 27. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS
- FORWARDED TO THE ENGINEER AND OWNER.
- 28. TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE PARKING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED A CENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LAR AND THE PAYMENT OF EACH TESTING SERVICE SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK
- CONSTRUCTED MEETS THE REQUIREMENTS OF THE NCDOT AND CITY OF WILMINGTON'S SPECIFICATIONS. 29. ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100% PF THE ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FIL SHALL BE PLACED AND COMPACTED IN MAXIMUM 8 INCH LIFTS. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION. THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY
- CLAY OR CLAYEY SAND (P.I. BETWEEN 4 AND 15) AS NEEDED TO PROVIDE A SMOOTH SURFACE FOR PAVING. 30. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL INTERNAL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT PARKING STALL
- STRIPING WHICH SHALL BE PAINTED 4" YELLOW 31. FACES OF RADII ARE 5 FT UNLESS OTHERWISE SHOWN
- 32. ALL PARKING SPACES SHALL BE 9' WIDE X 18' DEEP MIN. 33. ALL CURB OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE 24" CURB AND GUTTER.
- 34. WHERE SIDEWALKS OR WALKWAYS ABUT PARKING SPACES, THEY ARE TO BE A MINIMUM OF SIX (6.0) FEET WIDE (DIMENSIONED FROM BACK OF CURB TO BACK OF WALK) WITH RAMPS PROVIDED AT INTERVALS TO ALLOW ADEQUATE ACCESS TO PARKING LOT(S)
- 35. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND CUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES.
- 36. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- 37. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30
- DAYS MINIMUM PRIOR TO INSTALLATION. 38. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES. PARKING STALES. ADA PARKING SYMBOLS. AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO NCDOT STANDARDS.
- 39. ALL ADA RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT ADA REQUIREMENTS AND NORTH CAROLINA BUILDING CODE.
- 40. HANDRAILS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS IN ACCORDANCE WITH THE LATEST NC BUILDING 41. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS IN ACCORDANCE WITH THE LATEST NC BUILDING
- CODE, MAXIMUM SLOPE SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS 42. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL STAIRS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE.

43. ALL SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE. PROVIDE A NON-SKID FINISH TO ALL WALKWAYS.

- 44. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND. HAVE LOW VISION. AND PEOPLE WITH MOBILITY DISABILITIES 45. TEMPORARY AND PERMANENT PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES WILL BE
- CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). AND THE LATEST VERSION OF THE NC BUILDING CODE. 46. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM.

REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG),

- PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED. 47. DOORS ARE INDICATED ON ALL BUILDINGS FOR WHICH ARCHITECTURAL DESIGN HAS OCCURRED.
- 48. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AND AS FURTHER DIRECTED BY THE CITY OF WILMINGTON AND NCDOT.
- 49. ANY REFERENCE TO A RETAINING WALL WITHIN THE PLAN SET IS FOR APPROVAL PERTAINING TO LOCATION, APPEARANCE. AND SIZE ONLY. ALL RETAINING WALLS MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER IN ACCORDANCE WITH THE CITY OF WILMINGTON DESIGN AND CONSTRUCTION ORDINANCES.
- 50. NO STRUCTURAL COMPONENT OF ANY RETAINING WALL CAN BE LOCATED WITHIN A RIGHT-OF-WAY OR 51. EQUIPMENT AND PRODUCTS OTHER THAN SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL
- WAIVE ANY CLAIM FOR ADDITIONAL COSTS RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT. 52. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS

#### GENERAL UTILITY NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
- 2. CONTRACTOR IS RESPONSIBLE TO PERFORM ALL CONSTRUCTION ACTIVITIES IN A MANNER WHICH WILL NOT RESULT IN SANITARY SEWER OVERFLOWS OR BYPASSES TO THE WATERS OF THE STATE. IF SUCH DAMAGES ARE THE RESULT OF CONTRACTORS ACTIONS, THEY ARE RESPONSIBLE FOR ALL REMEDIES AND COSTS, INCLUDING
- 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING
- 4. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

UTILITIES CHARTED OR UNCHARTED WHICH MIGHT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN

- 5. MINIMUM TRENCH WIDTH AT THE TOP OF PIPE SHALL BE AT LEAST 18 INCHES GREATER THAT THE OUTSIDE
- 6. CONTRACTOR SHALL NOTIFY THE (MUNICIPAL JURISDICTION) INSPECTORS 72-HOURS PRIOR TO CONNECTING TO ANY EXISTING UTILITY MAIN.
- 7. UTILITY LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. 9. COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE
- 10. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS. 11. CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-
- 12. ALL VERTICAL CLEARANCE MEASUREMENTS ARE TAKEN FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF
- 11. INSTALL PROPOSED SEWER MAINS WITH A COVER OF NO LESS THAN 3-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 5-FT TO FINISH GRADE IN TRAFFIC AREAS.
- 12. INSTALL PROPOSED WATER MAINS WITH A COVER OF NO LESS THAN <u>3-FT</u> FROM THE FINISHED GRADE TO THE OUTSIDE DIAMETER OF THE PIPE.
- 13. INSTALL ALL UTILITIES TO PROVIDE REQUIRED HORIZONTAL AND VERTICAL CLEARANCES, AS FOLLOWS; • WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES
- DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER • WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS
- MAINTAIN <u>18"</u> MIN. VERTICAL SEPARATION AT ALL WATER MAIN AND RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE CRADLE HAVING  $\underline{6}''$  (TYP.) MIN. CLEARANCE. • ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER AND SEWER FACILITIES WITH 18" MIN.
- VERTICAL SEPARATION REQUIRED 14. ALL CONCRETE ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 PSI.
- 15. ALL PROPOSED VALVES TO BE PLACED IN VALVE BOX PER DETAIL.
- 16. ALL PROPOSED WATER PIPES REQUIRE TRACER WIRE, WITH GAS AND OIL RESISTANT INSULATION, RUNNING ALONG THE CROWN OF THE PIPE IN CONTINUOUS LENGTHS. THE TRACER WIRE SHALL BE SECURED TO THE PIPE IN INTERVALS OF 10' (MAXIMUM) WITH TAPE. ONE TRACER WIRE AND MARKER BALLS, IF SPECIFIED, WILL BE INSTALLED ALONG EACH INDIVIDUAL PIPE AND WILL NOT BE INTERCONNECTED WITH TRACER WIRES FOR OTHER PIPES. EACH TRACER WIRE WILL BE EXPOSED IN A VALVE BOX, PER DETAIL, AND THE VALVE BOX WILL
- NOT BE SHARED WITH OTHER TRACER WIRES 17. CONTRACTOR IS RESPONSIBLE TO PROVIDE A FULL JOINT OF PRESSURE PIPE (20') OR PROVIDE BELL JOINT RESTRAINT HARNESS IF BELL JOINTS ARE INSTALLED AT LESS THAN 18' FROM EACH BEND OR FITTING IN ADDITION TO ADHERING TO SPECIFIED COMPACTION REQUIREMENTS. IN ANY EVENT, THE CONTRACTOR IS SOLELY RESPONSIBLE TO ACHIEVE SATISFACTORY PRESSURE TESTS RESULTS FOR ALL PIPE LINES WITHOUT
- 18. A SUCCESSFUL PRESSURE TEST IS 150% OF OPERATION PRESSURE OR 150PSI (WHICHEVER IS GREATER) FOR
- TWO HOURS, IN ACCORDANCE WITH AWWA STANDARDS. 19. THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS. 20. THE CONTRACTOR SHALL PROTECT ALL SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY AND ALL EXISTING UTILITIES DAMAGED
- DURING CONSTRUCTION, AT NO EXPENSE TO THE OWNER 21. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 22. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATIONS AND ELEVATION OF ALL UTILITIES. 23. ALL BUILDING SHALL HAVE KNOX BOXES.
- 24. PROPOSED SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.
- 25. PROPOSED SANITARY SEWER SERVICES OVER 20 FEET LONG WITH LESS THAN 3 FEET OF COVER REQUIRE DUCTILE IRON PIPE. 26. ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
- 27. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) REGULATED MATERIALS, INSTALLATION METHODS AND TESTING OF UTILITY MAINS
- 28. ALL BUILDINGS SHALL HAVE ADDRESSES POSTED ON THE BUILDING, IN A CLEARLY VISIBLE LOCATION.
- 29. ALL FDC'S SHALL HAVE SIGNAGE INDICATING WHICH BUILDING IT SERVES. 30. FIRE LANES SHALL BE MARKED THROUGHOUT THE SITE, INCLUDING THE FRONT AND REAR OF BUILDINGS AND
- IN FRONT OF THE FIRE HYDRANTS AND FDC'S. 31. ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT SHALL BE PROTECTED BY
- BOLLARDS. 32. NO TREES, SHRUBS OR PLANTS SHALL BE WITHIN 3 FEET OF ALL FIRE DEPARTMENT EQUIPMENT. 33. SEWER MAIN EASEMENTS SHALL BE GRADED SMOOTH, FREE FROM ROCKS, BOULDERS, ROOTS, STUMPS, AND
- OTHER DEBRIS. AND SEEDED AND MULCHED UPON THE COMPLETION OF CONSTRUCTION 34. ALL VALVES SHALL BE STRAINED IN BOTH DIRECTIONS IN A MANNER CONSISTENT WITH OPERATION AS A DEAD END USING STAINLESS STEEL RODDING AND BLOCKING ACCORDING TO STANDARD SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE PLANS
- 35. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 36. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH OWNER AND POWER UTILITY PROVIDER FOR RELOCATION OF POWER SERVICE.
- 37. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING FEES AND INSPECTION CHARGES.

39. CONTRACTOR TO COORDINATE WITH OWNER FOR PLACEMENT OF PERMANENT POWER SERVICE

38. TEMPORARY ELECTRICAL SERVICE REQUIRED FOR PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.

#### PERMITTING NOTES

- CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) WATER AND SEWER PERMITS MAY BE REQUIRED PRIOR TO
- COMMENCING UTILITY WORK NEW HANOVER EROSION CONTROL PERMIT, LAND DISTURBANCE PERMIT, AND CERTIFICATE OF
- COMPLIANCE REQUIRED PRIOR TO COMMENCING GRADING OPERATIONS. NCDOT DRIVEWAY PERMIT, TWO PARTY, AND THREE-PARTY ENCROACHMENT AGREEMENT IS REQUIRED PRIOR TO COMMENCING WORK WITHIN THE RIGHT-OF-WAY.

#### GENERAL STORMWATER NOTES

- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL STORM DRAIN STRUCTURES (CURB INLETS, DRAIN INLETS, MANHOLES ETC.) AND ALL UTILITIES CROSSING THE STORM SEWER PIPE SYSTEM.
- THE STORM DRAIN CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM DRAIN SYSTEM.
- ALL RCP STORM DRAIN PIPES SHALL BE MINIMUM CLASS III REINFORCE CONCRETE PIPE, UNLESS OTHERWISE THE LOCATIONS OF STORM DRAIN STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE. WHERE
- PROPOSED STORM DRAIN PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM DRAIN PIPES TO MATE THE LOCATION OF THESE EXITING FEATURES. ALL ROOF DRAINS SHALL BE AT MINIMUM 6" PVC (SCH 40) @ 1% MIN. SLOPE UNLESS INDICATED
- OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.

UPON COMPLETION OF THE PROJECT, AND BEFORE CERTIFICATE OF OCCUPANCY SHALL BE GRANTED,

STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED.

THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED

STORMWATER MANAGEMENT PLANS AND DESIGNS. AND SHALL SUBMIT ACTUAL "AS-BUILT" PLANS FOR ALL

#### GENERAL GRADING NOTES

- 1. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART 'P' APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED TO CONTRACTOR PRIOR TO EXCAVATION.
- 2. CONTRACTOR SHALL NOTIFIY "NC 811" (811) OR (1-800-632-4949) ATLEAST THREE FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATE SERVICES INDEPENDENT OF "811". REPORTANY DISC REPANCIES TO THE ENGINEER IMMEDIATELY.
- 3. BEFORE ANY EARTHWORK IS PERFORMED. THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SURVEYING FOR THE LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORI
- 4. ALL DIMENSIONS AND GRADES SHOWN ON THE PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR
- GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN. 5. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- 6. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER AND ARE DENOTED AT THE GUTTERLINE, UNLESS
- 7. ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT ADA REQUIREMENTS. THE TURNING SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:20 AND CROSS SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:48, WHICH INCLUDES CROSSWALKS. ACCESSIBLI PARKING SPACES MUST BE PROPERLY DESIGNED TO SHOW THAT FULL COMPLIANCE IS BEING PROVIDED TO
- CURRENT ADA REQUIREMENTS ) NUMBER, LOCATION ETC.). 8. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AND AS SHOWN ON THESE PLANS. THE CONTRACTOR
- SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. 9. THE GRADING CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- 10. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED SANITARY SEWER. WATER MAIN, GAS AND WIRE UTILITY VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE ELEVATIONS AND SLOPES.
- 11. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
- CONNECT TO EXISTING PAVEMENT, CURB AND OTHER RIGID STRUCTURES. NOTIFY DESIGNER IF 13. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE OR MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS

12. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS WHERE NEW CONSTRUCTION SHALL JOIN OR

- ND REFUSE DEBRIS DERIVES FROM ANY SOURCE. 14. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURE, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTM STANDARD D-1557. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT THE RESULTS OF THE PROCTOR TEST TOGETHER WITH THE CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A CERTIFIED MATERIALS TESTING LABORATORY AND THE CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL
- ENGINEERING REPRESENTING THE LABORATORY 15. PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED
- LICENSED GEOTECHNICAL ENGINEER. 16. SOIL UNDER BUILDINGS, PAVED AREAS, AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED,
- PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. 17. UPON THE COMPLETION OF THE EARTHWORK ACTIVITIES, THE <u>CITY OF WILMINGTON</u> MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES
- THE TYPE OF TILL MATERIAL AND ITS PROPER PLACEMENT. 18. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUB GRADE INFORMATION.
- 19. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS

21. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED

LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

- 20. EASEMENTS ACROSS SLOPED AREAS SHALL BE GRADED UNIFORMLY ACROSS THE SLOPE TO NO STEEPER THAT 5:1 RATIO.
- 22. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED

#### CITY OF WILMINGTON NOTES

SECTION 510 OF THE 2018 NC FIRE CODE.

MATS IF NO DETECTABLE WARNING PAVERS OR MATS EXIST.

ELECTRICALLY SUPERVISED.

- 1. CONTRACTOR SHALL MAINTAIN AN ALL -WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION 2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB
- 3. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVEWS FOR PRACTICAL USE)
- 4. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMEN 5. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FT CLEAR SPACE SHALL ALWAYS BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
- 6. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT. 7. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE
- WILMINGTON FIRE AND LIFE SAFETY DIVISION. (910) 343-0696 8. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF

9. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE

10. EXISTING WHEELCHAIR RAMPS SHALL BE RETROFTITED WITH FLEXIBLE SURFACE-APPLIED DETECTABLE WARNING



AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF

Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN

APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY

THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE

THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER

SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK,

OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR

XACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, ANI

ARCHITECTURE■ PLANNING■ INTERIORS

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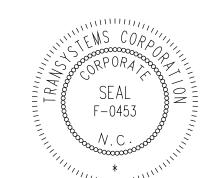
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NOVANT HEALTH FAMILY MEDICAL CLINIC -

**GREENFIELD** 

1423 GREENFIELD STREET, WILMINGTON, NC Description

PERMIT SET

GENERAL NOTES

				<u>LEGEND</u>		
EXISTING LINE TYPE	DESCRIPTION	PROPOSED LINETYPE	EXISTING SYMBOL	DESCRIPTION	PROPOSED SYMBOL	EXISTING SYMBOL
	PROPERTY LINE		mb	MAILBOX	MB	
	— — EASEMENT BUFFER		○ bol	BOLLARD FLAG POLE	●BOL F ├	
	SETBACK			SIGN, RELOCATED	<del>•</del>	
	TREELINE			SIGN	•	
	LIMITS OF DISTURBANCE	LOD —		BIKE RACK		
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	WOOD FENCE GUARDRAIL	0 0 0	TARRY	DIRECTIONAL ARROWS	T 77 7417 77	
	CABLE GUARDRAIL			PAVEMENT MARKING STOP BAR		
	ACCESSIBLE ROUTE			PARKING COUNT	<b>12</b> )	
	MINOR CONTOUR  MAJOR CONTOUR	(39)		EXISTING CONIFER TREE		
	SWALE CENTERLINE					
	STORM DRAIN PIPE	DD.		EXISTING DECIDUOUS TREE		
	ROOF DRAIN UNDER DRAIN	RD UD	× 1.00 O EG		<b>★</b> FG 1.00	
FD	FOUNDATION DRAIN	FD		GRADE ARROW		
——————————————————————————————————————		UGE ————————————————————————————————————		STORM MANHOLE		
—— — FO —		F/O		STORM JUNCTION BOX	O	EXISTING
CATV — —		CATV —	osdco	STORM CLEANOUT		<u>PATTERN</u>
— — CATV — — — — — — — — — — — — — — — — — — —	— UNDERGROUND CABLE TV  OVERHEAD TELEPHONE	— — CAIV — —	cb	CURB INLET		
UGT	— UNDERGROUND TELEPHONE		-1'	DOUBLE CURB INLET		
	GAS LINE GAS SERVICE	G	di	DROP INLET		
——————————————————————————————————————	————SANITARY SEWER FORCEMAIN		[iiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiii	YARD INLET		
——————————————————————————————————————		SS ———————————————————————————————————		FLARED END SECTION		
WL	WATER LINE	WL	exsd #	STORM STRUCTURE TAG	SD #	
W	WATER SERVICE	W		POWER POLE		
CHWR		CWS	-①	GUY POLE	-•	
——————————————————————————————————————		CHWR————————————————————————————————————	—(	GUY WIRE	-(	
	HOT WATER RETURN	HWR	-\-	LIGHT POLE	<b>₩</b> 📮	
	TEMPORARY CONSTRUCTION EASEMENT	TCE	et	TRANSFORMER	ET	F55555555
	TEMPORARY CONSTRUCTION FENCE LIMITS OF GRADING	TCF	hh	ELECTRIC HANDHOLE	НН	
	BAFFLE	BF ———	tp	TELEPHONE PEDISTAL		,
	SILT FENCE	SF	catv	CABLE BOX	CATV	
	SUPER SILT FENCE TREE PROTECTION FENCE	SSF		FIBEROPTIC MARKER		
	COMBINATION TREE PROTECTION/SILT FENCE	TP/SF	FOB	FIBEROPTIC PEDISTAL	FOB	
	TIME OF CONCENTRATION	>>	$\circ^{gm}$	GAS MARKER	ullet GM	
	TEMPORARY DIVERSION DITCH TEMPORARY SLOPE DRAIN	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$\Box$ gm	GAS METER	$\blacksquare$ GM	
			S <sup>gv</sup>	GAS VALVE	GV ₩	
			$\bigcirc$ S	SEWER MANHOLE	SS	
			$\circ$ sco	SEWER CLEANOUT	● <sup>CO</sup>	
			000	GREASE TRAP		
			exss #	SEWER STRUCTURE TAG	SS #	
			wv	WATER VALVE	×	
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			-\-\-\\wm	WATER METER		
			bfp	FIRE HYDRANT	<b>-</b>	
				BACKFLOW PREVENTER	Z	
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				CAP	]	
			icv  X	REDUCER	<b>&gt;</b>	
			*	IRRIGATION CONTROL VALVE	ICV M	
			○ fdc	SPRINKLER HEAD	*	
			I	FIRE DEPARTMENT CONNECTION	N 🗡	
				THRUST BLOCKING	4	

THRUST BLOCKING

AIR RELEASE VALVE

#### LIST OF ABBREVIATIONS

MH Min

WEIR LENGTH

MAXIMUM

MANHOLE

MINIMUM

PROPOSED

**SYMBOL** 

**PROPOSED** 

**PATTERN** 

Ψ Ψ Ψ

SILT FENCE OUTLET

WATTLE

BLOCK AND GRAVEL

INLET PROTECTION

HARDWARE CLOTH AND

GRAVEL INLET PROTECTION

SILT SACK INLET

PROTECTION FILTER

SILT SOCK INLET PROTECTION

HORSESHOE PIPE PROTECTION

TEMPORARY DRAIN PIPE OUTLET

STABILIZATION

CONSTRUCTION ENTRANCE

CONSTRUCTION ENTRANCE

WITH EXIT WASH RACK

DEWATERING BAG

CONCRETE WASHOUT

GRAVEL

CONCRETE

CONCRETE PVMT

HEAVY DUTY CONCRETE

LIGHT DUTY CONCRETE

**ASPHALT** 

HEAVY DUTY ASPHALT

BRICK PAVE

**EARTH** 

WETLANDS

REINFORCING MAT LINING

APPROX	APPROXIMATE	N OR NO Nad	NORTH NORTH AMERICAN DATUM
AD ADA	ANGLE DEVIATION AMERICAN DISABILITIES ACT	NAVD	NORTH AMERICAN VERTICAL DATUM
Ac OR AC	ACRE	NCDEQ	NORTH CAROLINA DEPARTMENT OF
Bndy	BOUNDARY	113224	ENVIRONMENTAL QUALITY
BC	BOTTOM OF CURB	NCDOT	NORTH CAROLINA DEPARTMENT OF
BOC	BACK OF CURB		TRANSPORTATION
BOW	BACK OF WALK	NIC	NOT IN CONTRACT
BM	BOOK OF MAPS	NTS	NOT TO SCALE
BPE	BUILDING PAD ELEVATION	OG	ORIGINAL GROUND
BVCE	BEGIN VERTICAL CURVE ELEVATION	O/S	OFFSET
BVCS	BEGIN VERTICAL CURVE STATION	OTLT	OUTLET
BW	BOTTOM OF WALL	PI	POINT OF INTERSECTION
C&G	CURB AND GUTTER	Pg OR PG	PAGE
CB	CATCH BASIN	PL POC	PROPERTY LINE
CI	CURB INLET	POC POD	POINT OF CONCENTRATION
C-I-P	CAST-IN-PLACE	PREC	POINT OF DISCHARGE PRECAST
cfs	CUBIC FOOT PER SECOND	PROP	PROPOSED
CL CO	CONTROL LINE/CENTER LINE	PVC	POLY(VINYL CHLORIDE)
Conc.	CLEANOUT CONCRETE	PVI	POINT OF VERTICAL INFLECTION
CONN	CONNECTION	PI	POINT OF INTERSECTION
Cu. Ft (cf)	CUBIC FOOT	PT	POINT OF TANGENCY
Cu. Pt (CI) Cu Yd (cy)	CUBIC YARD	PS	PUMP STATION
Dble CB	DOUBLE CATCH BASIN	PVC	POLY VINYL-CHLORIDE PIPE
D D D D	DELTA	Qty	QUANTITY
DA	DRAINAGE AREA	R	RADIUS
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
dbh	DIAMETER AT BREAST HEIGHT	RD	ROOFDRAIN
DG	DESIGN GROUND	RGRCP	RUBBER GASKET RCP
DI	DRAIN INLET	ROW	RIGHT-OF-WAY
DIP	DUCTILE IRON PIPE	S OR SO	SOUTH
DMH	DRAIN MANHOLE	SA	SURFACE AREA
DOJ	DEPARTMENT OF JUSTICE	SAN OR SS	SANITARY SEWER
D/S	DOWNSTREAM	SCH	SCHEDULE STORM DRAIN
DWG	DRAWING	SD	STORM DRAIN
DWL	DOUBLE WHITE LINE	SDR SF	STANDARD DIMENSION RATIO SILT FENCE
DYL	DOUBLE YELLOW LINE	SHLD	SHOULDER
E	EAST	SP	SPACE
ECM EIA	EXISTING CONCRETE MONUMENT EXISTING IRON AXLE	SSF	SUPER SILT FENCE
EIP	EXISTING IRON AXLE EXISTING IRON PIN	SSMH	SANITARY SEWER MANHOLE
EIR	EXISTING IRON PIN EXISTING IRON ROD	STA	STATION
EG	EXISTING IRON ROD  EXISTING GRADE	STD	STANDARD
ELEV, EL	ELEVATION	STRM	STORM
ELIP	ELLIPTICAL	STMH	STORM MANHOLE
EOA	EDGE OF ASPHALT	Sq. ft (sf)	SQUARE FOOT
EOG	EDGE OF GRAVEL	Sq Yd(sy)	SQUARE YARD
EOP	EDGE OF PAVEMENT	SWL	SINGLE WHITE LINE
ESC	EROSION AND SEDIMENT CONTROL	SYL	SINGLE YELLOW LINE
EVCE	END VERTICAL CURVE ELEVATION	T	THICKNESS
EVCS	END VERTICAL CURVE STATION	TBA	TO BE ABANDONED
EX OR EXIST	EXISTING	TBD	TO BE DETERMINED
FDC	FIRE DEPARTMENT CONNECTION	TBR	TO BE REMOVED
FES	FLARED END SECTION	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TOC	TIME OF CONCENTRATION
FH	FIRE HYDRANT	TPF	TREE PROTECTION FENCE
FHA	FIRE HYDRANT ASSEMBLY	TIP	TRENCH INLET PROTECTION
FOC	FACE OF CURB	TSSB TST	TEMPORARY SEDIMENT SKIMMER BASI TEMPORARY SEDIMENT TRAP
Ft. OR FT	FEET	TW	TOP OF WALL
FUT	FUTURE	Typ. OR TYP	TYPICAL
GS GV	GENERAL STATUTE GATE VALVE	U/S	UPSTREAM
HC	HANDICAPPED	VERT	VERTICAL
HDPE	HIGH DENSITY POLYETHYLENE PIPE	VC	VERTICAL CURVE
HGL	HYDRAULIC GRADE LINE	YI	YARD INLET
HOR <b>IZ</b> .	HORIZONTAL	W	WEST
HP	HIGH POINT	WD	WIDE OR WIDTH
ID	INSIDE DIAMETER		
I.D.	IDENTIFICATION	NOTE: THIS LIST	MAY NOT BE INCLUSIVE OF ALL
INV	INVERT		S USED WITHIN THE
IPF	IRON PIPE FOUND		N DRAWING SET. IF THE
L OR LEN	LENGTH		IS UNSURE OF AN ABBREVIATION
Lbs	POUNDS		OGY USED WITHIN THIS
LP	LOW POINT	CONSTRUCTIO	N SET, IT IS THE CONTRACTOR'S

RESPONSIBILITY TO CONTACT THE ENGINEER

FOR CLARIFICATION. THE ENGINEER OR THE

MISINTERPRETATION OF THE CONSTRUCTION

PLAN SET BY THE GENERAL CONTRACTOR OR

OWNER WILL NOT BE HELD LIABLE FOR

ANY OF HIS SUB-CONTRACTORS.

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NOVANT HEALTH FAMILY MEDICAL CLINIC -

GREENFIELD

3 WORKING DAYS
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CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. 1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

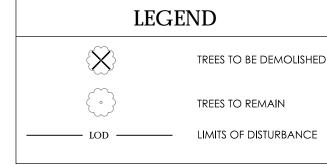
PROJECT LEGEND & **ABBREVIATIONS** 

L. DICKSON J. ADRIATICO PROJECT NUMBER



TREE INVENTORY PLAN

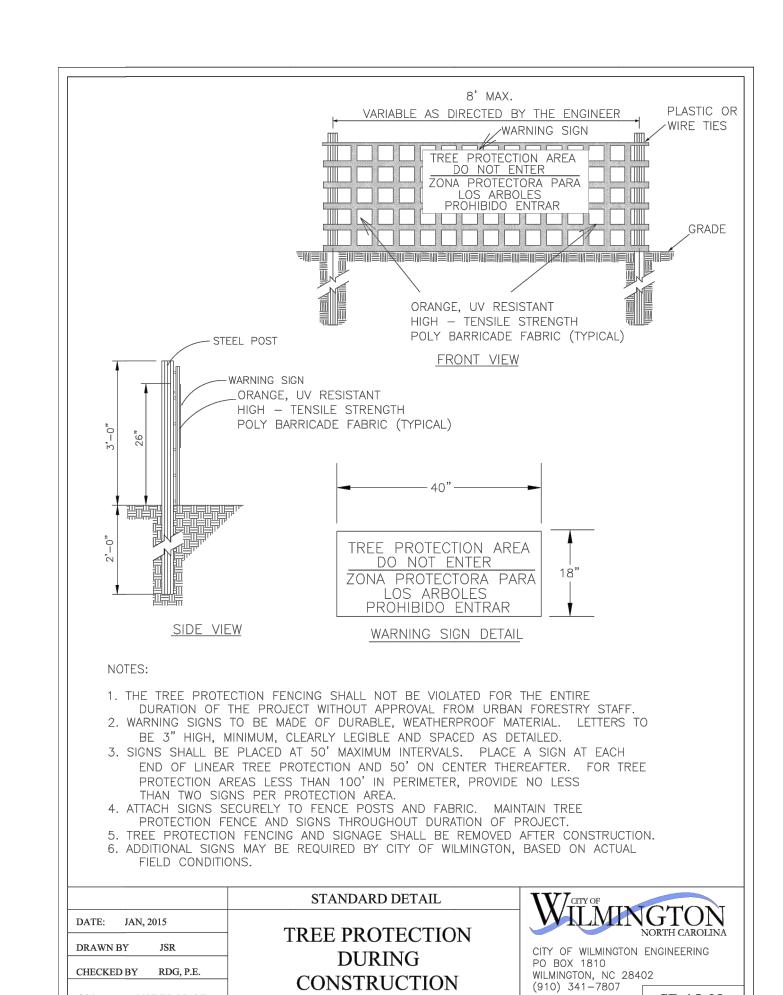
Scale: 1" = 30'



TREE DEMO	SIZE/CALIPER	QUANTITY
REGULATED TRI	EES WITHIN BUILDI	
FOOTPRINT	10"	
OAK		3
OAK	11"	4
OAK	12"	1
OAK	13"	1
OAK	15"	3
DOUBLE OAK	15"	1
OAK	17"	1
OAK	18"	2
OAK	20"	2
TRIPLE OAK	20"	1
QUAD OAK	20"	1
SUBTOTAL TREE		272"
REGULATED TRI ROUTES	EES WITHIN SIDEWA	ALKS / ADA
OAK	18"	1
OAK	19"	1
OAK	21"	1
SUBTOTAL TREE	E DBH	58"
REGULATED TR DRIVEWAY	EES WITHIN PARKIN	NG /
DOUBLE OAK	10"	1
OAK	11"	2
OAK	12"	3
TRIPLE OAK	12"	1
OAK	15"	1
OAK	16"	2
OAK	19"	1
SUBTOTAL TREE	E DBH	146"
REGULATED TRI	EES REMOVED FOR	GRADING
OAK	11"	2
OAK	12"	1
OAK	13"	1
DBL OAK	13"	1
OAK	15"	2
OAK	16"	1
OAK	18"	2
OAK	19"	2
OAK	21"	1
SUBTOTAL TREE		201"
SODIOTAL TIME	emoved	677"

#### NOTEC.

. ALL TREES SHOWN TO BE REMOVED ARE WITHIN THE LIMITS OF DISTURBANCE NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS FOR THIS SITE.



SHEET 2 of 2



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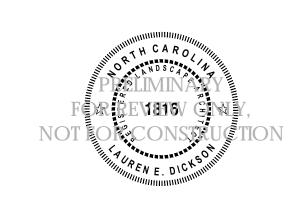
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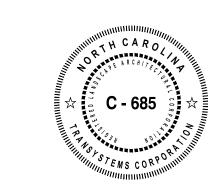
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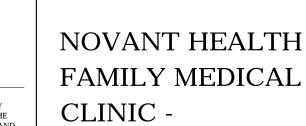


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SD 15-09

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GREENFIELD

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Dat

PERMIT SET

TREE INVENTORY PLAN

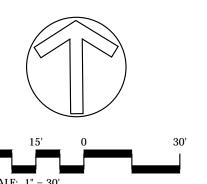
ISSUE DATE

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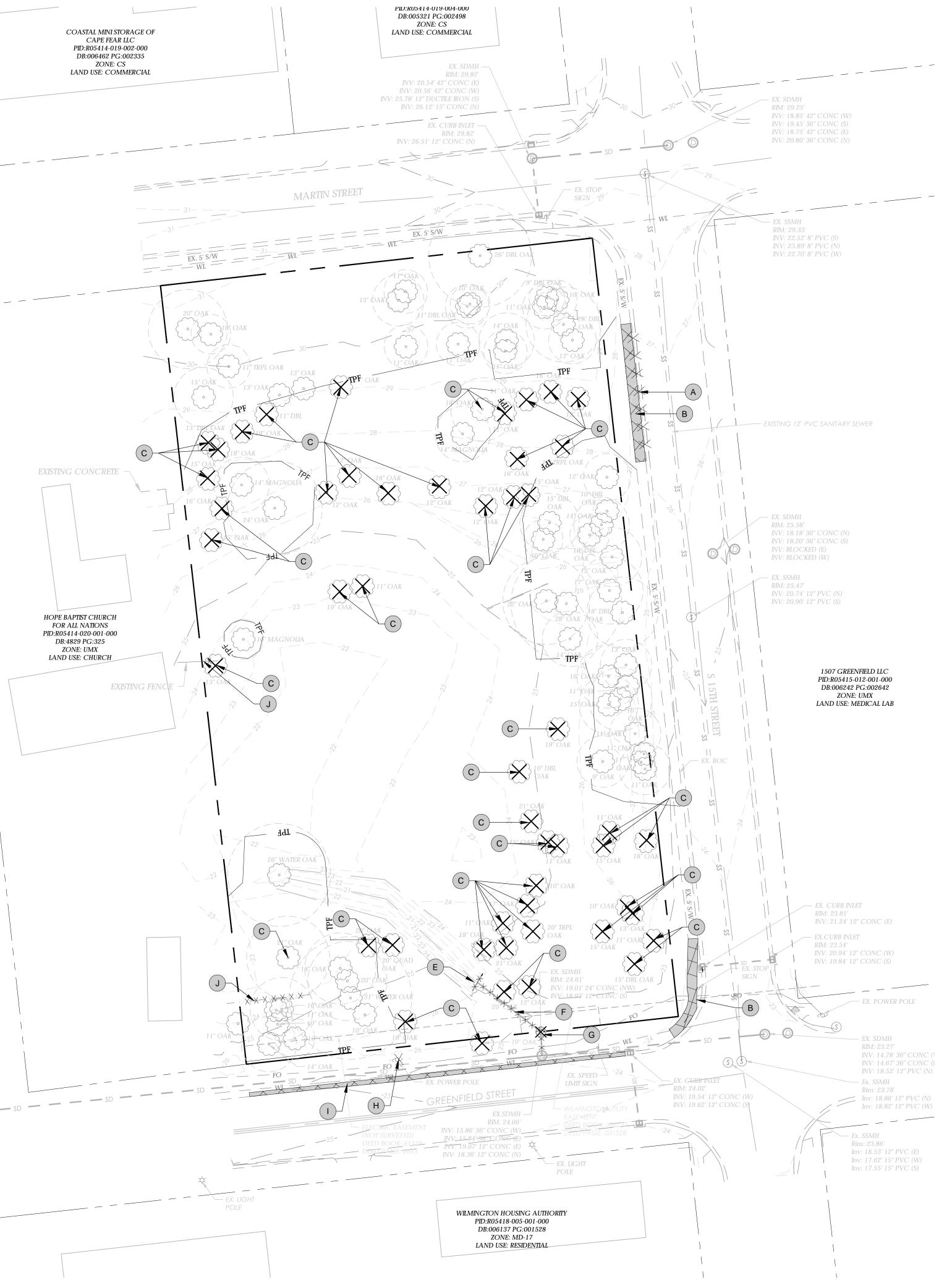
L. DICKSON
SHEET BY

J. ADRIATICO
PROJECT NUMBER

24 005



SCALE NOT TO SCALE



DEMOLITION PLAN

Scale: 1" = 30'

**DEMOLITION** 

KEY DESCRIPTION

- (A) CURB AND GUTTER TO BE REMOVED TO LIMITS SHOWN
- B | SIDEWALK TO BE REMOVED TO LIMITS SHOWN
- C ) TREE TO BE REMOVED IT IT'S ENTIRETY
- TREE TO BE CUT AT GROUND LEVEL AND STUMP GROUND 6" BELOW SURFACE
- (E) WALL TO BE REMOVED IN IT'S ENTIRETY
- STORM DRAIN PIPES TO BE CAPPED AND REMOVED PER CITY OF WILMINGTON REQUIREMENTS AFTER TEMPORARY DIVERSION DITCH #1 IS TIED INTO PROPOSED OUTLET PIPES
- G STORM DRAINAGE MANHOLE TO BE REMOVED IN IT'S ENTIRETY
- EXISTING UTILITY POLE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR RELOCATION.
- EDGE OF PAVEMENT TO BE REMOVED FOR INSTALLATION OF CURB AND
- J | FENCE TO BE REMOVED TO PROPERTY BOUNDARY

#### DEMOLITION AND EROSION CONTROL NOTES

- EROSION CONTROL MEASURES AND TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- MAINTENANCE OF TRAFFIC AND TRAFFIC CONTROL IS THE SOLE RESPONSIBILITY OF THE SITE CONTRACTOR. THESE PLANS ARE TO SERVE ONLY AS A GENERAL GUIDE AND IN NO WAY LIMITS THE SITE CONTRACTOR FROM MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH NCDOT STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, OR AS DIRECTED BY THE LOCAL MUNICIPALITY.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY NCDOT STREET OR HIGHWAY RIGHT-OF-WAY, OBTAIN ALL PERMITS AND ENCROACHMENTS. CROSS CHECK SPECIAL PROVISIONS WITH PLANS. MAINTAIN A COPY OF ALL PERMITS ON SITE. CONTACT LOCAL DISTRICT ENGINEER \_\_\_\_\_ 24 HOURS BEFORE PLACING ANY CURB AND GUTTER WITHIN NCDOT RIGHT-OF-WAY.
- CONTRACTOR TO ACQUIRE PROPER DEMOLITION PERMITS PRIOR TO REMOVAL OF EXISTING STRUCTURES/UTILITIES.
- SITE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL AND TO INITIATE CLEAN-UP OF LITTER AND REFUSE GENERATED BY HIMSELF AND SUBCONTRACTORS. THE CLEAN-UP OF LITTER AND REFUSE SHALL BE DONE ON A REGULAR BASIS, AND SHALL INCLUDE INITIATING ACTION AND ASSUMING ANY COST IN REMEDYING THE SITUATION. ALL REFUSE AND DEBRIS SHALL BE DISPOSED OF LAWFULLY AT AN OFF-SITE LOCATION.

PAVEMENT TO BE REMOVED

TREE TO BE REMOVED

WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

DEMOLITION LEGEND



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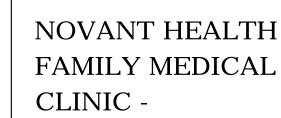




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GREENFIELD

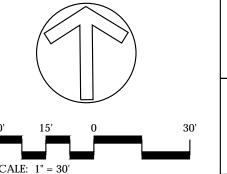
1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

PROJECT NUMBER

**DEMOLITION PLAN** 



LAND USE: COMMERCIAL 46'x46' CORNER SITE DISTANCE TRIANGLE 35'x70' SITE DISTANCE TRIANGLE - 10' FRONT SETBACK TREE PROTECTION FENCE (LOD) EXISTING CONCRETE STORMWATER CONTROL **MEASURE** HOPE BAPTIST CHURCH FOR ALL NATIONS PID:R05414-020-001-000 DB:4829 PG:325 ZONE: UMX LAND USE: CHURCH 1507 GREENFIELD LLC PID:R05415-012-001-000 DB:006242 PG:002642 LAND USE: MEDICAL LAB REET TREE PROTECTION FENCE (LOD) MEDICAL OFFICE BUILDING 7,797 SQFT MAIN ENTRANCE TREE PROTECTION GREENFIELD STREET 46'x46' CORNER SITE DISTANCE TRIANGLE WILMINGTON HOUSING AUTHORITY PID:R05418-005-001-000 DB:006137 PG:001528 ZONE: MD-17 LAND USE: RESIDENTIAL

SITE PLAN

Scale: 1" = 30'

COASTAL MINI STORAGE OF CAPE FEAR LLC PID:R05414-019-004-000 DB:005321 PG:002498 ZONE: CS

LAND USE: COMMERCIAL

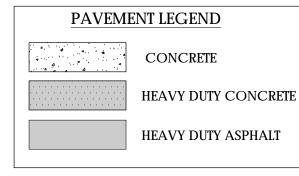
COASTAL MINI STORAGE OF

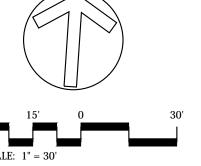
CAPE FEAR LLC PID:R05414-019-002-000

DB:006462 PG:002335 ZONE: CS SITE NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
- 2. ALL AREAS OUTSIDE THE "LIMITS OF CONSTRUCTION" SHALL REMAIN UNDISTURBED AT ALL TIMES
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. VEHICULAR ACCESS SHALL BE MAINTAINED AT ALL TIMES.
- FIRE LANE MARKINGS SHALL CONFORM TO THE <u>CITY OF WILMINGTON</u> DESIGN DETAILS AND SPECIFICATIONS, <u>CITY OF WILMINGTON</u> FIRE MARSHAL, AND THE CURRENT NC FIRE CODE. IF THE CRITERIA IS CONFLICTING, THE MORE RESTRICTIVE DESIGN GUIDELINE SHALL BE FOLLOWED.
- ALL INTERNAL PAVEMENT MARKINGS SHALL BE WHITE PAINT.
- ALL PAVEMENT MARKINGS WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
- ALL PAVED PARKING FACILITIES SHALL BE STRIPED WITH FOUR INCH WHITE LINES.
- ALL ADA RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT ADA REQUIREMENTS AND NORTH CAROLINA BUILDING CODE.
- 9. ACCESSIBLE PARKING SPACE DIMENSIONS, SLOPE AND SIGNAGE SHALL COMPLY WITH THE MOST RECENT VERSION OF ANSI/ICC A117.1.
- 10. HANDRAILS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE.
- 11. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE, MAXIMUM SLOPE SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.
- 12. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL STAIRS IN ACCORDANCE WITH THE LATEST NC BUILDING CODE.
- 13. ALL SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE.
- 14. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH THE LATEST VERSION OF THE NC BUILDING CODE.
- 15. DOORS ARE INDICATED ON ALL BUILDINGS FOR WHICH ARCHITECTURAL DESIGN HAS OCCURRED.
- TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AND AS FURTHER DIRECTED BY THE <u>CITY OF</u> WILMINGTON AND NCDOT.
- 17. ALL ON-SITE PAVEMENT SHALL BE STANDARD ASPHALT, UNLESS OTHER WISE NOTED
- 8. WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT, CONTRACTOR SHALL MILL 1.5"x1.5" LAP JOINT IN EXISTING PAVEMENT.
- 19. NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHTS, SHRUBS, TREES, OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN 30 INCHES AND ABOVE GROUND AND 10 FEET ABOVE GROUND LEVEL WITHIN A TRIANGULAR SIGHT DISTANCE.
- 20. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10' (VERTICALLY).
- 21. EXISTING WHEELCHAIR RAMPS SHALL BE RETROFITTED WITH FLEXIBLE SURFACE-APPLIED DETECTABLE WARNING MATS.
- 22. WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

KEY	DESCRIPTION	DETAIL	SHEE
$\overline{A}$	COMMERCIAL DRIVEWAY	SD 3-03.03	CS50
В	SIDEWALK	SD 3-10	CS50
<u>C</u>	CURBING	SD 3-11	CS50
D	HEAVY DUTY CONCRETE PAVING	2	CS50
E	HEAVY DUTY ASPHALT PAVING	3	CS50
F	STANDARD DUTY ASPHALT PAVING	1	CS50
G	CONCRETE WHEEL STOP	4	CS50
H	SEAT WALL	2	CS50
	DUMPSTER ENCLOSURE	1	CS50
J	ACCESSIBLE PARKING SPACES	5	CS50
L	BIKE RACK	6	CS50
M	TURNDOWN SIDEWALK	7	CS50
N	8' BACKLESS HUDSON BENCH AS MANUFACTURED BY FORMS + SURFACES. TO BE SURFACE MOUNTED PER MANUFACTURER'S DETAILS & SPECIFICATIONS		
0	6' HUDSON BENCH, WITH BACK, AS MANUFACTURED BY FORMS + SURFACES. TO BE SURFACE MOUNTED PER MANUFACTURER'S SPECIFICATIONS & DETAILS.		
P	TRASH RECEPTACLE		
Q	ELECTRIC VEHICLE READY PARKING SPACES - SEE MEP PLA	ans	
R	SPLASH BLOCK. REFERENCE ARCHITECTURAL SPECIFICATION DETAIL.	ONS FOR FUR	ГНЕК
S	ACCESSIBLE RAMP	SD3-07	CS50
$\overline{T}$	CONCRETE FLUME	4	CD50





SITE DATA TABLE ADDRESS	1410 S 15TH STREET WILMINGTON, N	JC 29401
	,	NC 28401
OWNER	NOVANT HEALTH, INC.	
PIN	3127-32-9330.000	
PARCEL ID #	R05414-020-002-000	
ZONING DISTRICT	UMX	
LIMITS OF DISTURBANCE	64,693 SF / 1.48 AC	T
PROJECT LOT AREA	CURRENT: 2.00 ACRES (87,120SF)	PROPOSED: 2.00 ACRES (87,120SF)
WATERSHED	GREENFIELD LAKE	
RIVER BASIN	CAPE FEAR	
FLOODPLAIN	N/A	
WATERSHED OVERLAY DISTRICT	N/A	
USE	CURRENT: VACANT	PROPOSED: OFFICE & MEDICAL CLINIC
IMPERVIOUS	CURRENT: 0 SF	PROPOSED: 31,933 SF (0.73 AC)
CAMA LAND USE CLASSIFICATION	URBAN	ı
URBAN MIXED-USE DIMENSIONAL	STANDARDS (UDO Table 18-43.1)	
SITE IS INSIDE THE 1945 CORPORA	TE LIMITS	
SETBACKS	REQUIRED	PROVIDED
FRONT	10' MAXIMUM	20'
SIDE	5' MINIMUM	59'
REAR	5' MINIMUM	12'
BUILDING HEIGHT	45' MAXIMUM	24'-0"
BUILDING INFORMATION		
BUILDING CONSTRUCTION TYPE	II-B	
BUILDING LOT COVERAGE	8.90%	
SQUARE FOOTAGE	7,752 SF	
TOTAL SQUARE FOOTAGE	7,752 SF	
NONRESIDENTIAL BASELINE PARKI	NG RATIOS BY USE (UDO Table 18-341	.2)
	REQUIRED	PROVIDED
PARKING SPACES	NO REQUIREMENT	19 SPACES (2 ADA)
BICYCLE PARKING	2 SPACES OR 1 PER 5,000 SF OF GFA	3 RACKS / 6 SPACES
ESTIMATED TRIP GENERATION		
AM	PM	ADT
24	30	279

- 1. ALL DRIVEWAYS ALONG MAJOR THOROUGHFARES SHALL HAVE A PROPERTY LINE OFFSET OF 75' MEASURED AT THE CURBLINE. PROJECT DRIVEWAYS WILL HAVE TO SUBMIT FOR A VARIANCE
  - DURING WILMINGTON TRC REVIEW.

    2. ANY FREE STANDING SIGN(S) ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN; NO POLE SIGNS SHALL BE PERMITTED.

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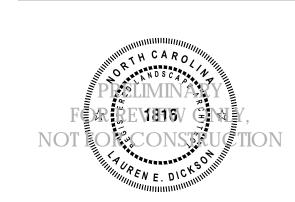
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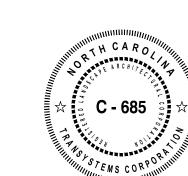
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OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

FOR THE LOCATION OF

No. Description Date

PERMIT SET

SITE PLAN

CHECKED

L. DICKSON
SHEET BY
J. ADRIATICO
PROJECT NUMBER

11/02/2

11/02/2

CAPE FEAR LLC PID:R05414-019-004-000 DB:005321 PG:002498 ZONE: CS COASTAL MINI STORAGE OF LAND USE: COMMERCIAL CAPE FEAR LLC PID:R05414-019-002-000 DB:006462 PG:002335 ZONE: CS LAND USE: COMMERCIAL 46'x46' CORNER SIGHT DISTANCE TRIANGLE 20'X70' SIGHT DISTANCE TRIANGLE 10' FRONT SETBACK **FIRELANE** STRIPING (TYP) STOPSIGN FIRELANE EXISTING CONCRETE STRIPING (TYP) NO PARKING HOPE BAPTIST CHURCH MOTORCYCLE PARKING FOR ALL NATIONS PID:R05414-020-001-000 DB:4829 PG:325 **ZONE: UMX** LAND USE: CHURCH 1507 GREENFIELD LLC PID:R05415-012-001-000 EXISTING FEN DB:006242 PG:002642 ZONE: UMX LAND USE: MEDICAL LAB CESSIBLE (TYP) CONTROL OF THE PROPERTY OF THE STRIPING (TYP) **FIRELANE** STRIPING (TYP) MEDICAL OFFICE BUILDING 7,797 SQFT "NO PARKING" GREENFIELD STREET 46'x46' CORNER SIGHT DISTANCE TRIANGLES WILMINGTON HOUSING AUTHORITY PID:R05418-005-001-000 DB:006137 PG:001528 ZONE: MD-17 LAND USE: RESIDENTIAL

PAVEMENT MARKING & SIGNAGE PLAN

Scale: 1" = 30'

COASTAL MINI STORAGE OF

PAVEMENT MARKINGS MARKING TYPE NCDOT STD. SIZE COLOR PARKING SPACES 4-IN WHITE DIRECTIONAL ARROWS 1205.08 STANDARD WHITE NO PARKING -- FIRE LANE \* 4-IN YELLOW DIAGONAL 1205.09 8-IN YELLOW

\*NO PARKING - FIRE LANE MARKING SHALL BE THERMOPLASTIC AND CONFORM TO CITY OF WILMINGTON STANDARD DETAIL/SPECIFICATIONS FIRE LANE STRIPING AND CONSIST OF A 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS.

	SIGNAGE			
SIGN TYPE	MUTCD STANDARD	SIZE		
STOP	R1-1	30"X30"		
NO PARKING ANYTIME	R7-1D	12"X18"		
ACCESSIBLE PARKING SYMBOL	3B-22	28"X24"		
NO PARKING LOADING ZONE	R7-6	12"X18"		
MOTORCYCLE PARKING		12"X18"		

#### PAVEMENT MARKING AND SIGNAGE NOTES:

- 1. ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND
- 2. ALL SIGNS ARE TO BE MOUNTED WITH 7 FT MINIMUM. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN, ON 3 LB
- GALVANIZED STEEL U-CHANNEL POST AND SET WITHIN 3 FT DEEP X 12 INCH DIAMETER CONCRETE FOOTING.
- 3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND PROJECT SPECIFICATIONS.
- 4. COORDINATE FIRE LANE MARKINGS WTIH CITY OF WILMINGTON FIRE MARSHAL.
- 5. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE LINES WHICH SHALL BE ALKYD-RESIN
- 6. ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE PROJECT MANAGER PRIOR TO SIGN
- INSTALLATION.
- 7. CENTER ALL DIRECTIONAL ARROWS WITHIN TRAVEL LANE.
- 8. COORDINATE FIRE LANE MARKINGS WITH TOWN OF MOORESVILLE FIRE MARSHAL.
- 9. ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM REFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.

#### CITY OF WILMINTON NOTES:

- 1. ANY REQUIRED INSTALLATION OR RELOCATION OF TRAFFIC SIGNS/PAVEMENT MARKING IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND PAVEMENT MARKINGS MANAGER/SUPERVISOR PRIOR TO INSTALLATION/RELOCATION OF ANY TRAFFIC SIGNS OR MARKINGS IN EXISTING OR
- PROPOSED PUBLIC ROW. 2. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS
- SHALL BE WHITE.
- 3. ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING WILL BE REPLACED. 4. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING
- REGARDING THE UTILITIES IN THE ROW.
- 5. CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.

**LEGEND** ACCESSIBLE ROUTE



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#### NOVANT HEALTH FAMILY MEDICAL CLINIC -

GREENFIELD

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE

THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF

SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR

SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER

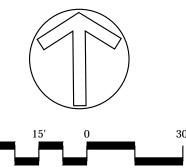
FOR THE LOCATION OF

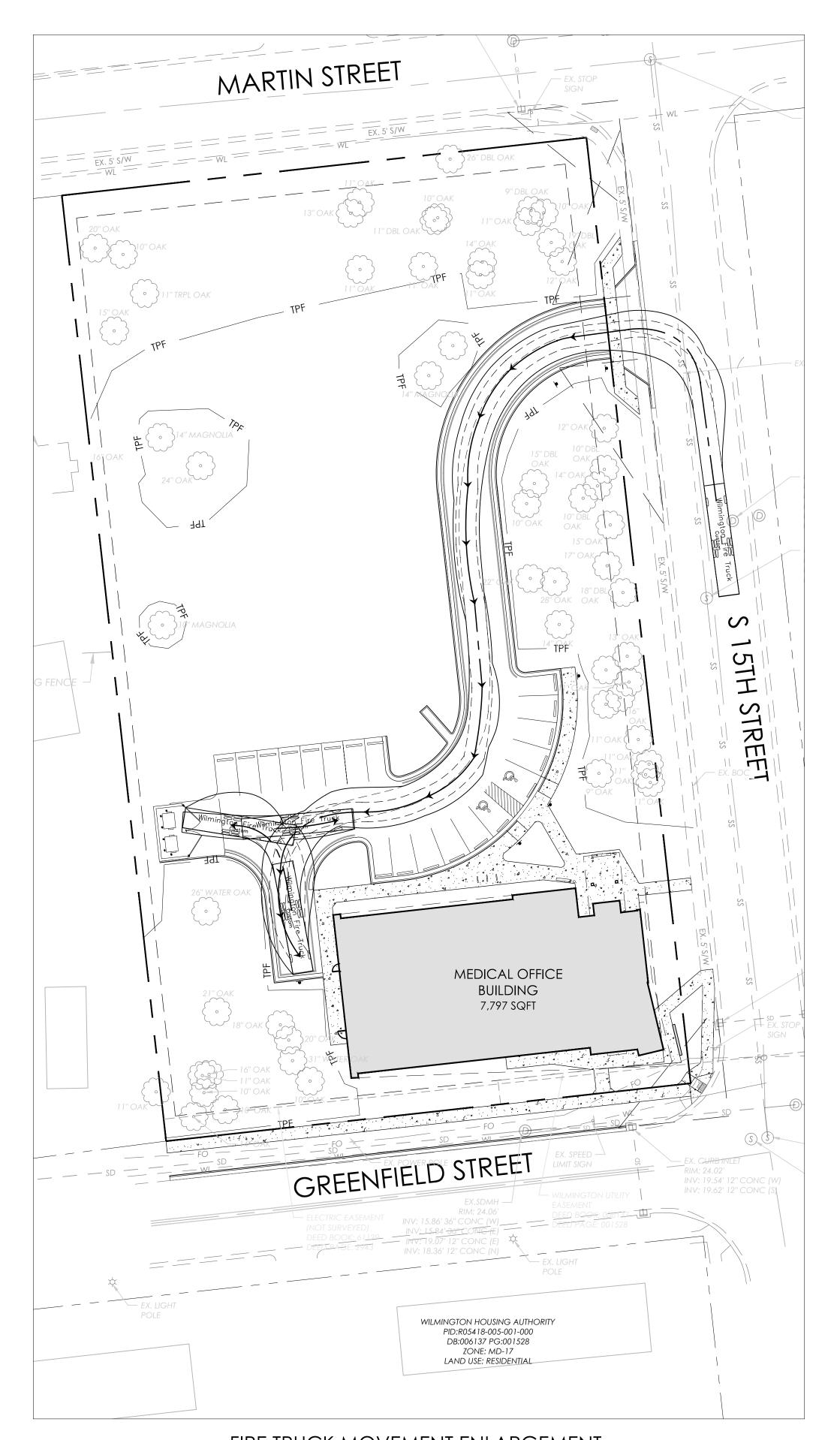
1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	

PERMIT SET

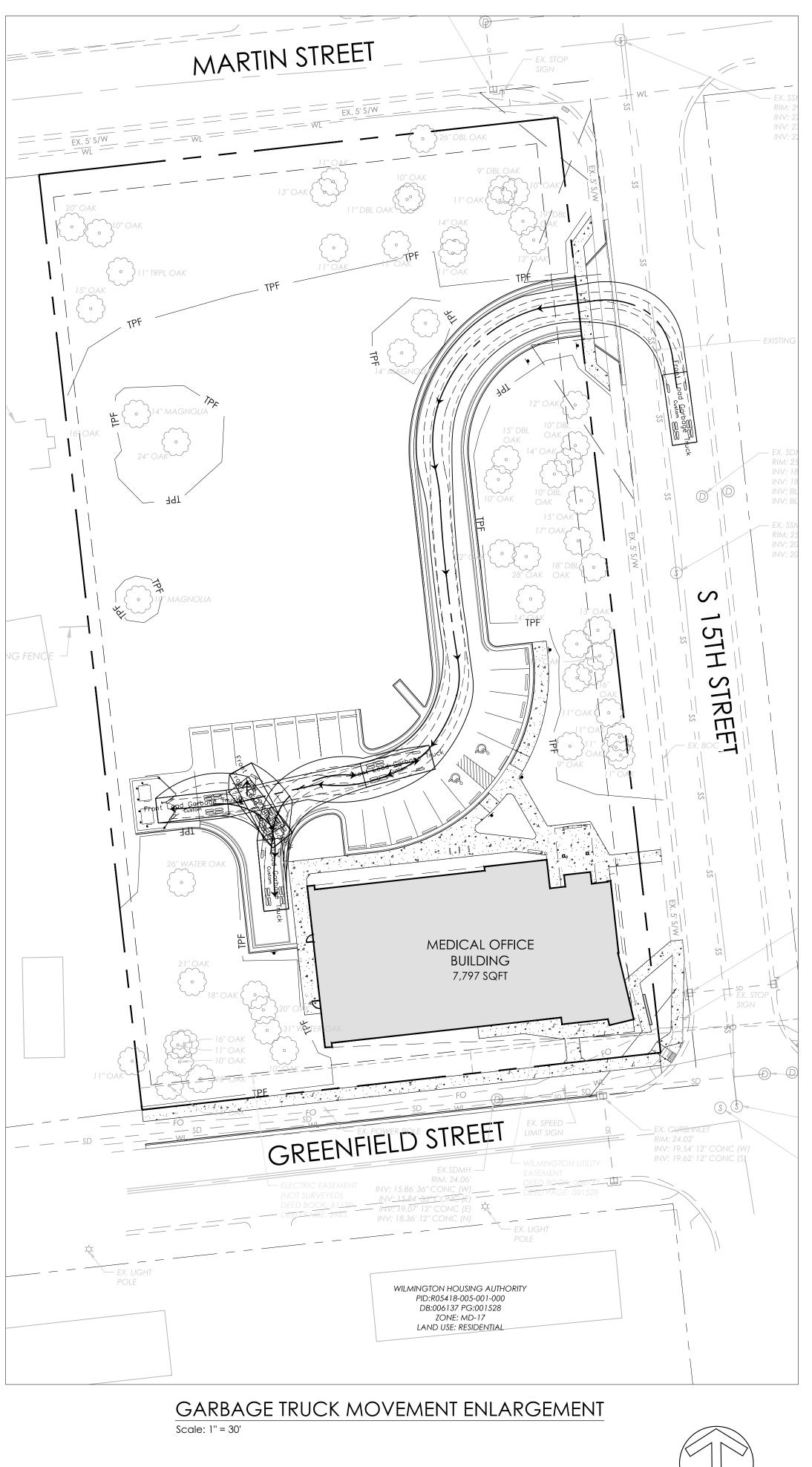
PAVEMENT MARKING & SIGNAGE PLAN





FIRE TRUCK MOVEMENT ENLARGEMENT

Scale: 1" = 30'



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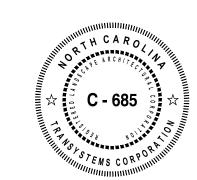
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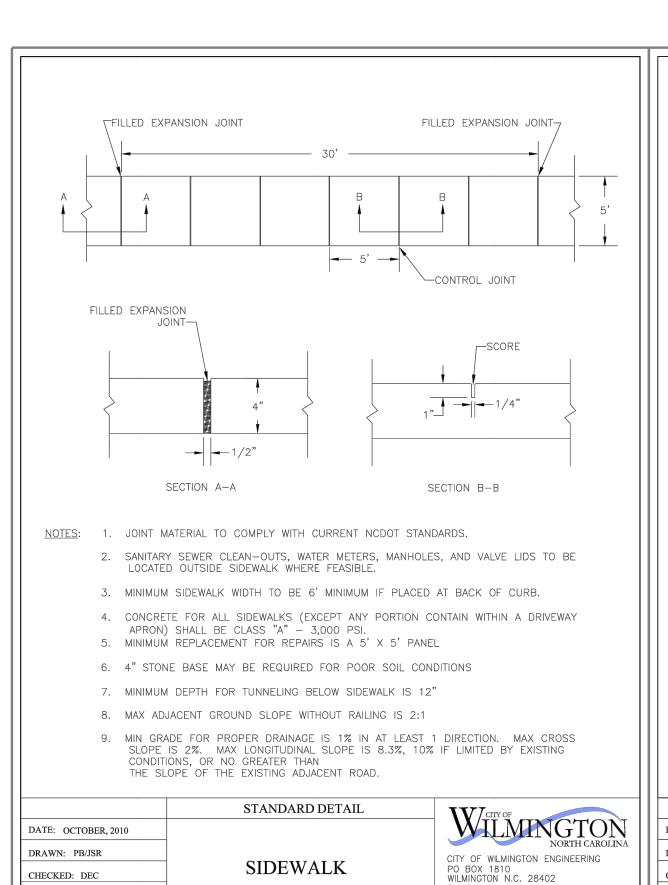
#### **NOVANT HEALTH FAMILY MEDICAL** CLINIC -**GREENFIELD**

1423 GREENFIELD STREET, WILMINGTON, NC

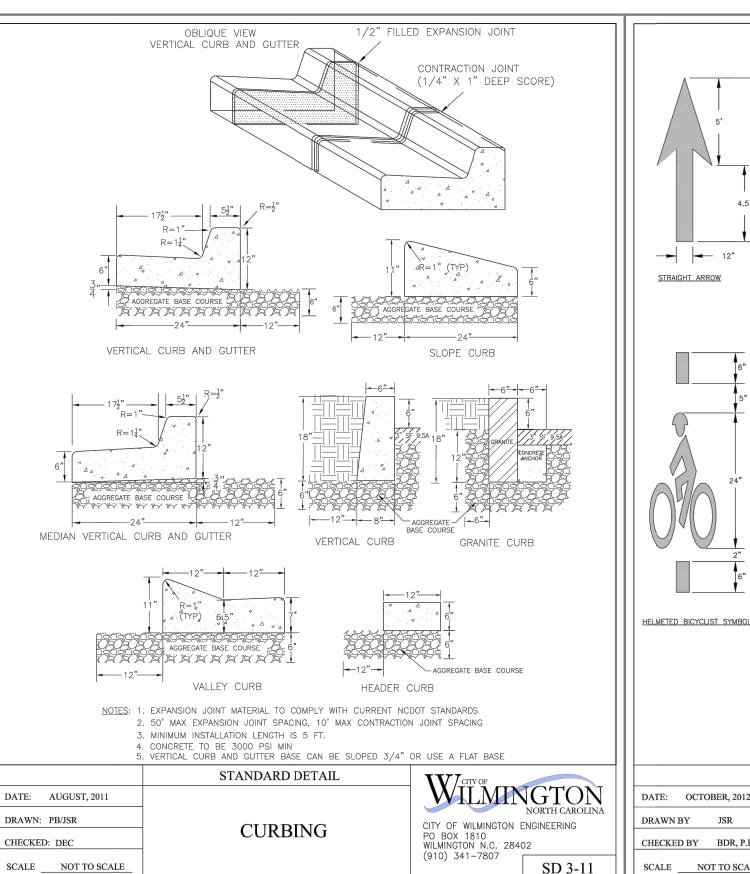
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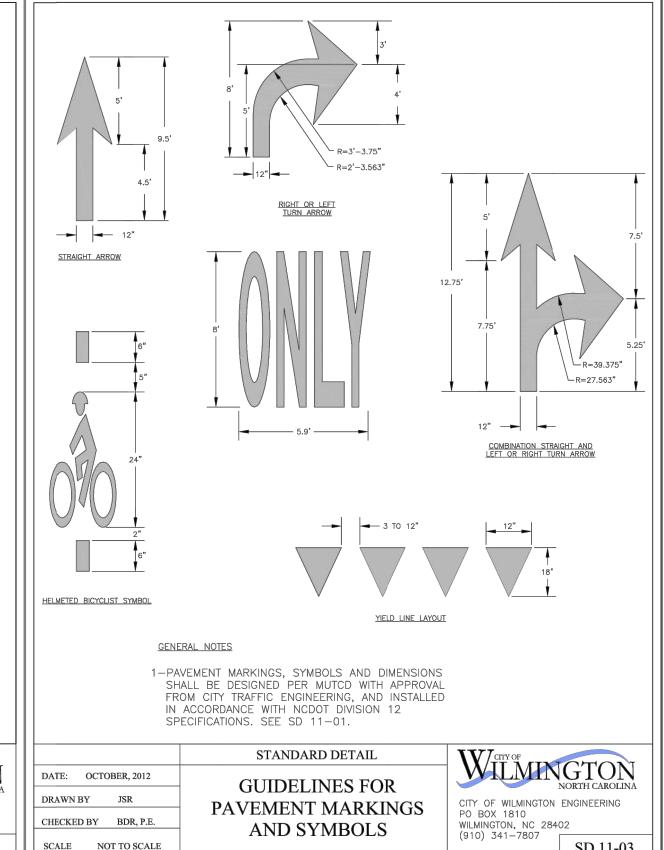
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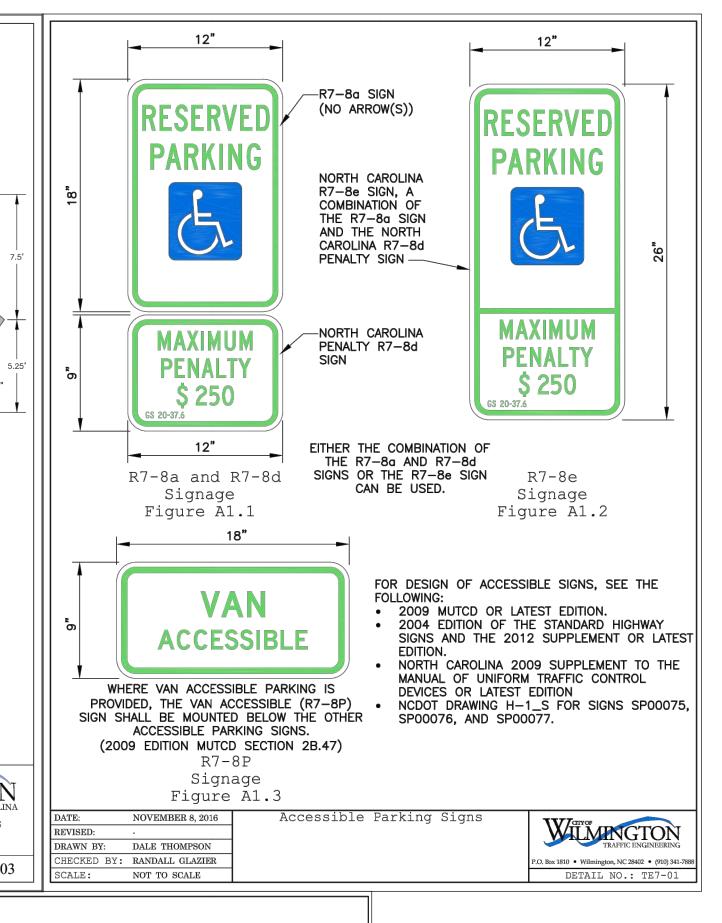
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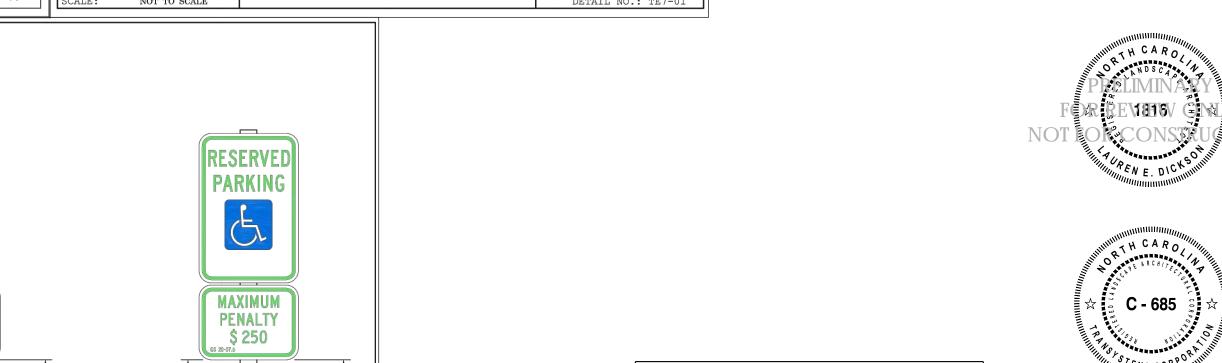


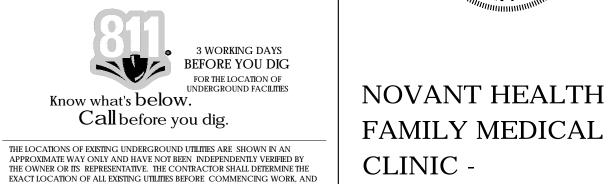
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GREENFIELD

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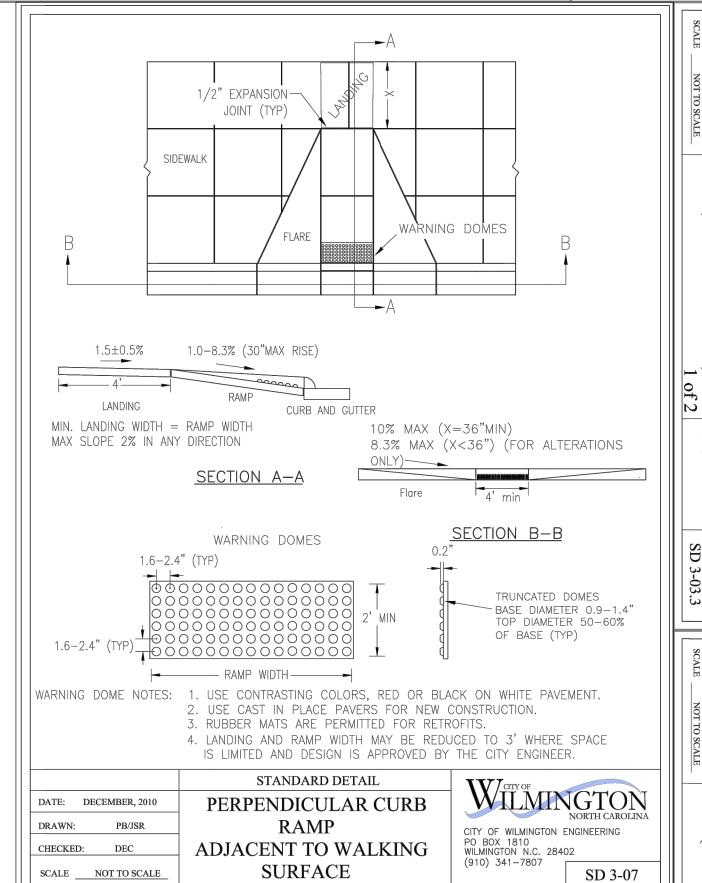
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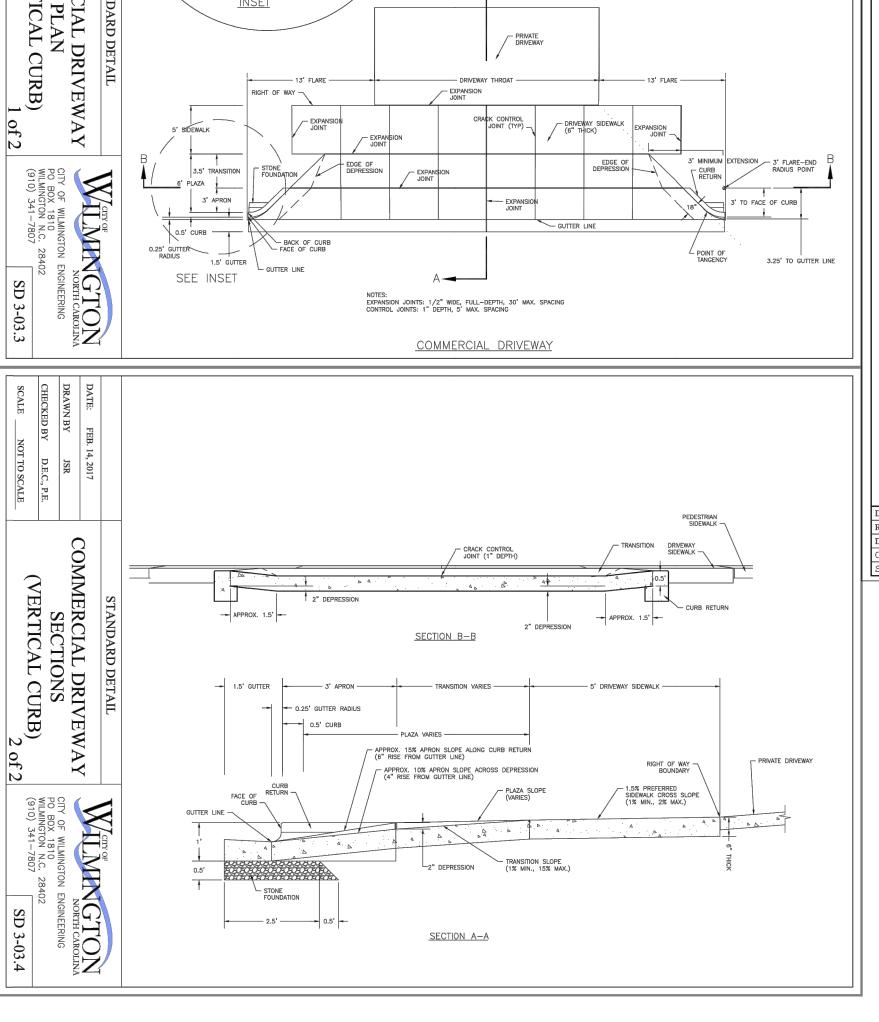
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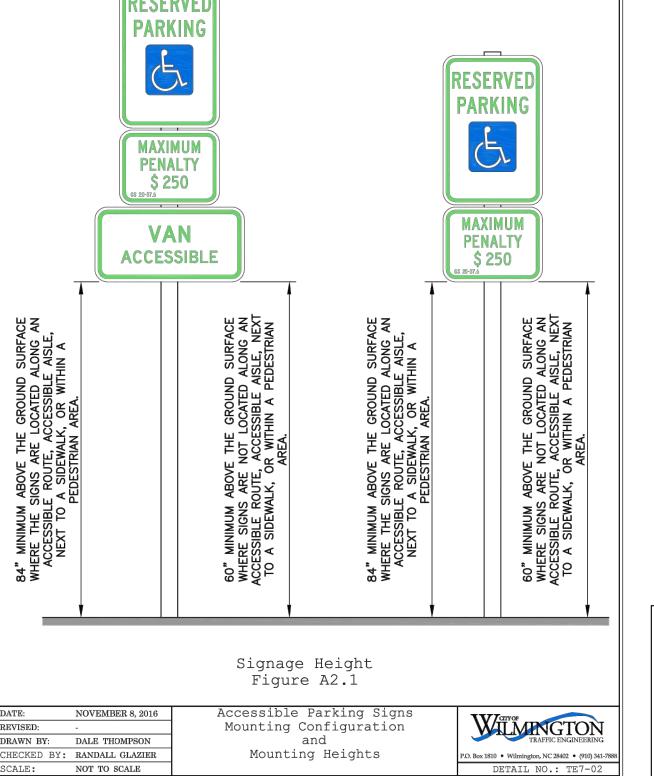
SITE DETAILS

L. DICKSON J. ADRIATICO PROJECT NUMBER 21-025



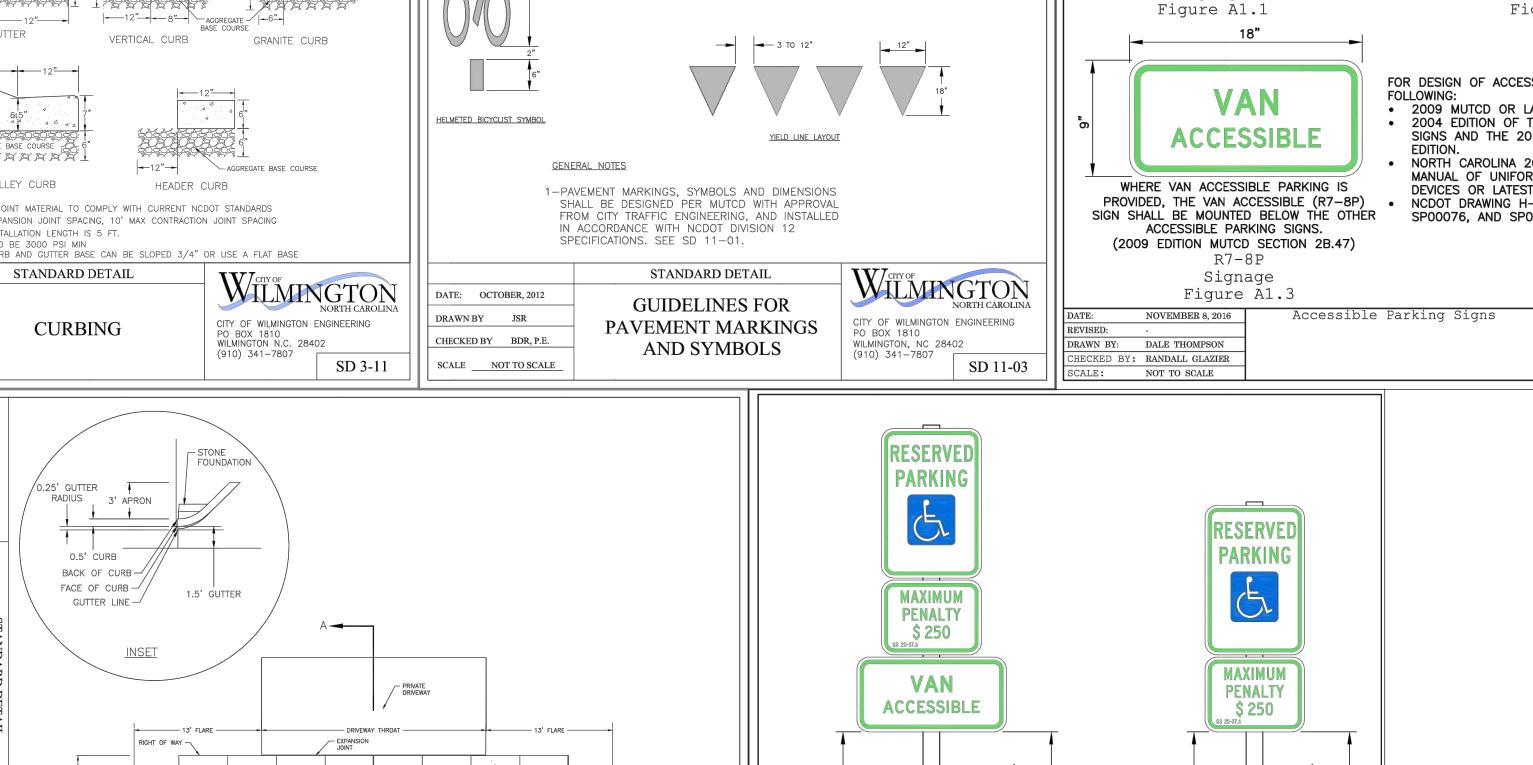
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Mounting Heights NOT TO SCALE

> ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS



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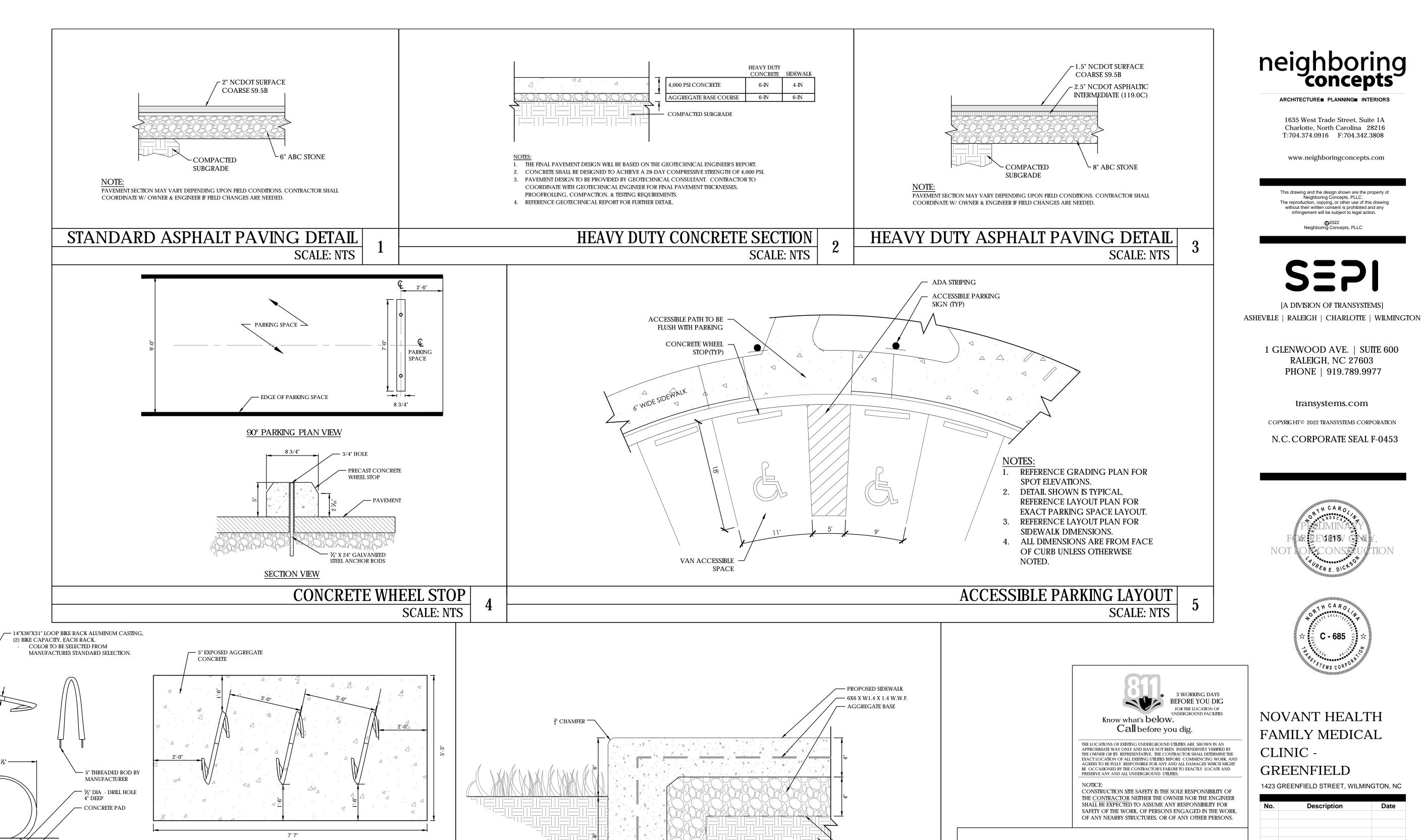
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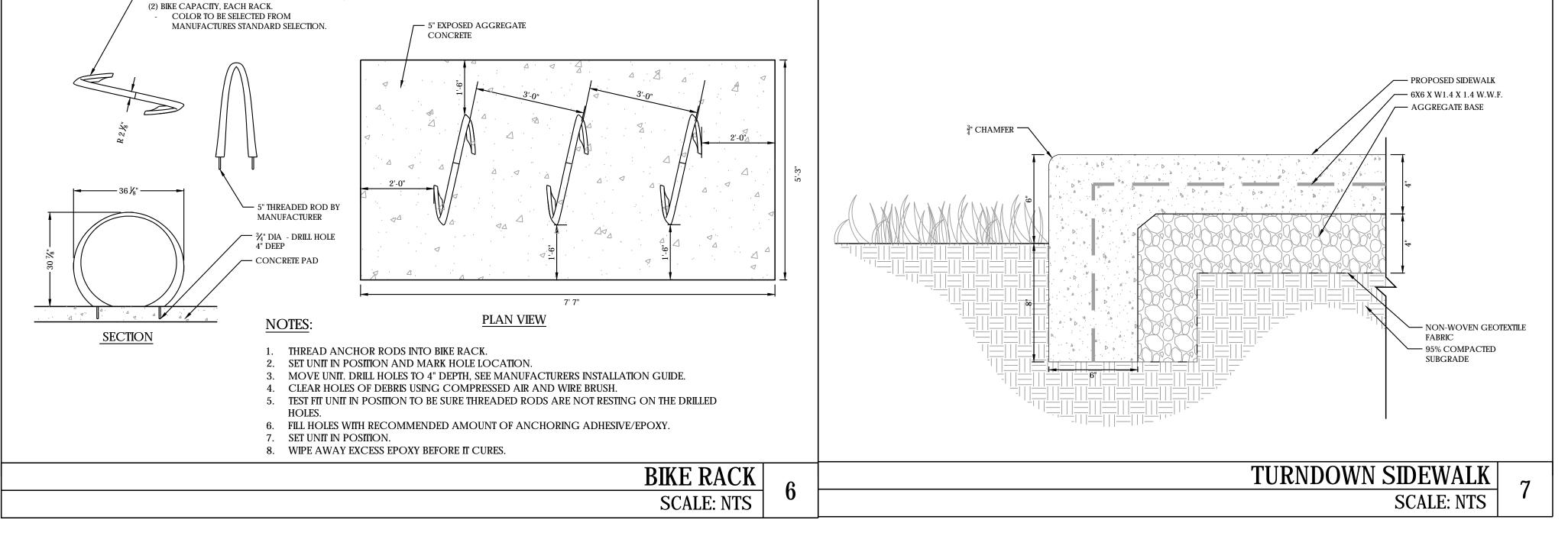
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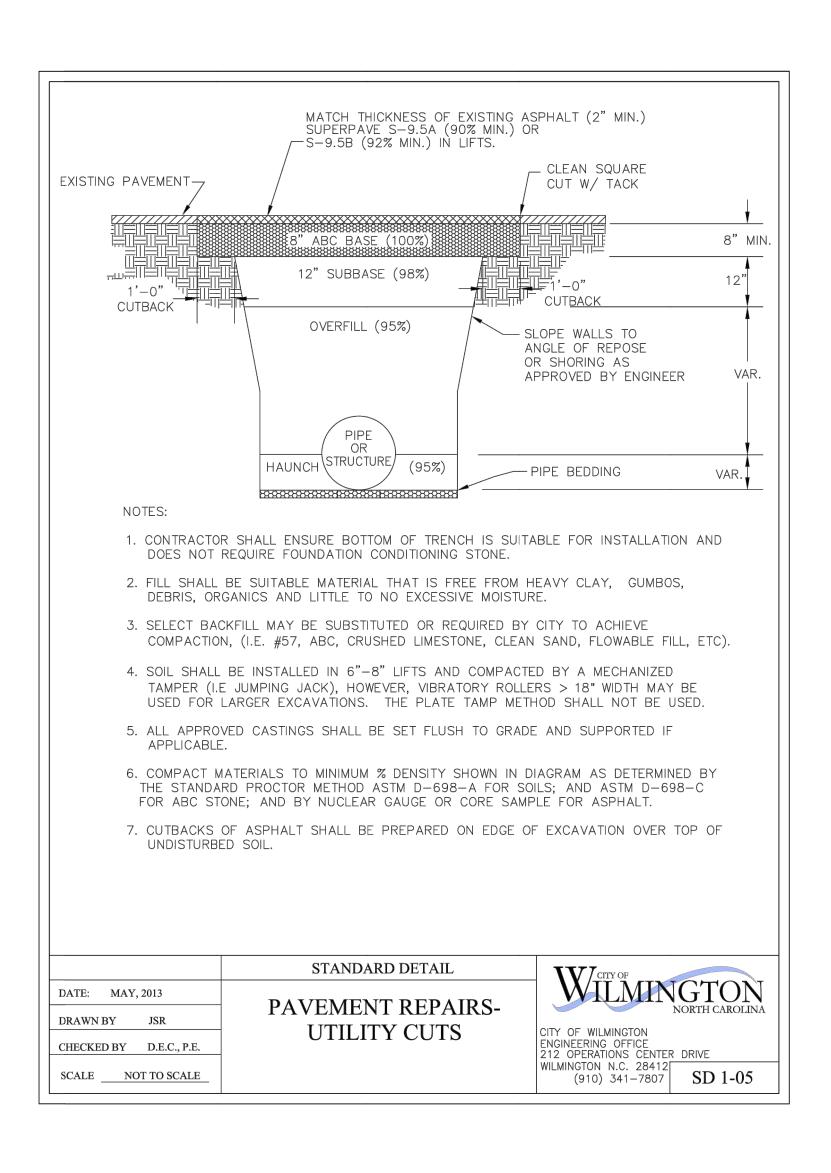
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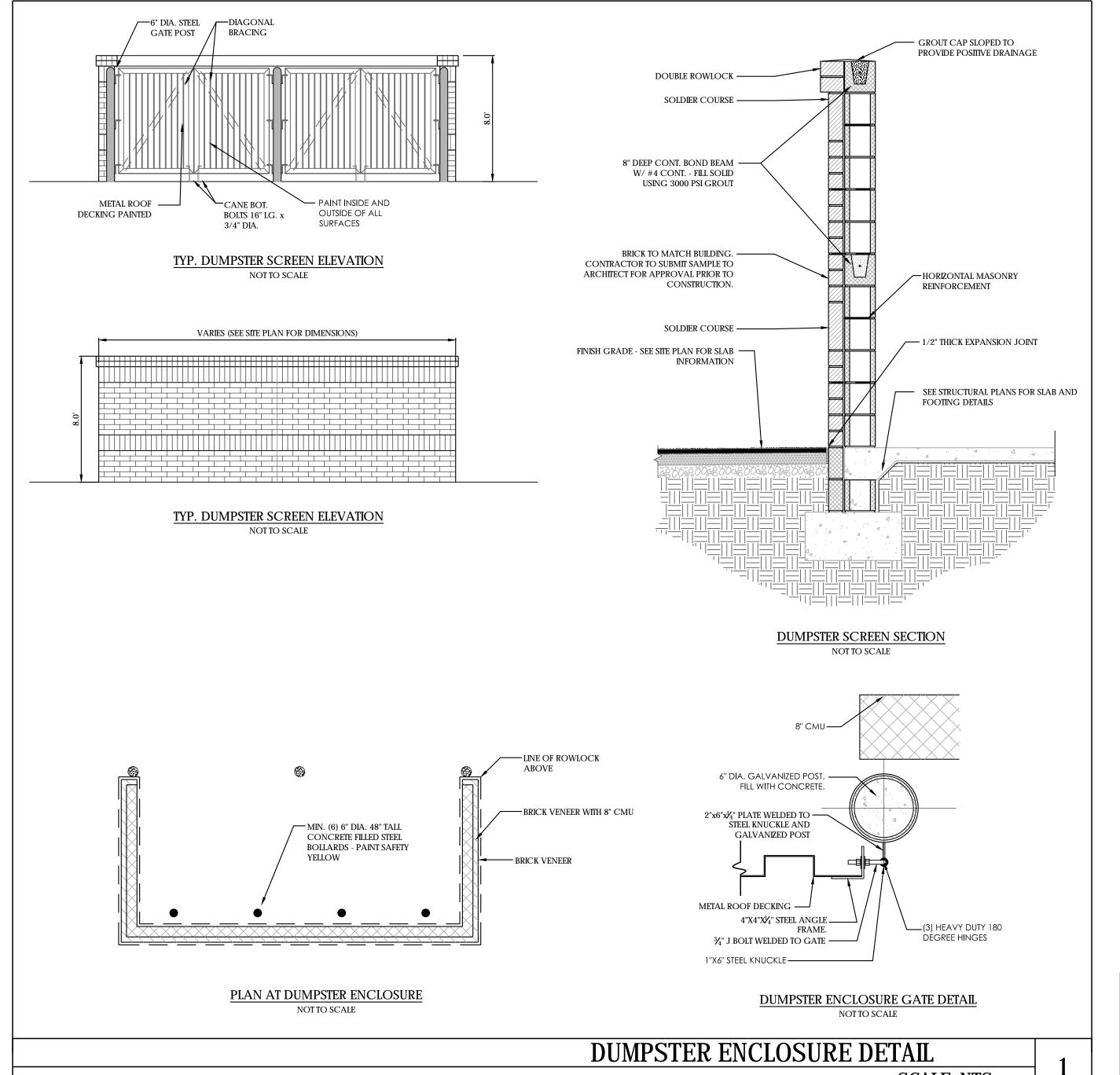
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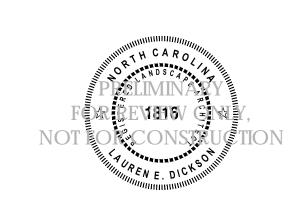
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BEFORE YOU DIG FOR THE LOCATION OF NOVANT HEALTH UNDERGROUND FACILITIES FAMILY MEDICAL THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY CLINIC -THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE

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BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. 1423 GREENFIELD STREET, WILMINGTON, NC CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER

3 WORKING DAYS

Know what's below.

Call before you dig.

EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND

AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT

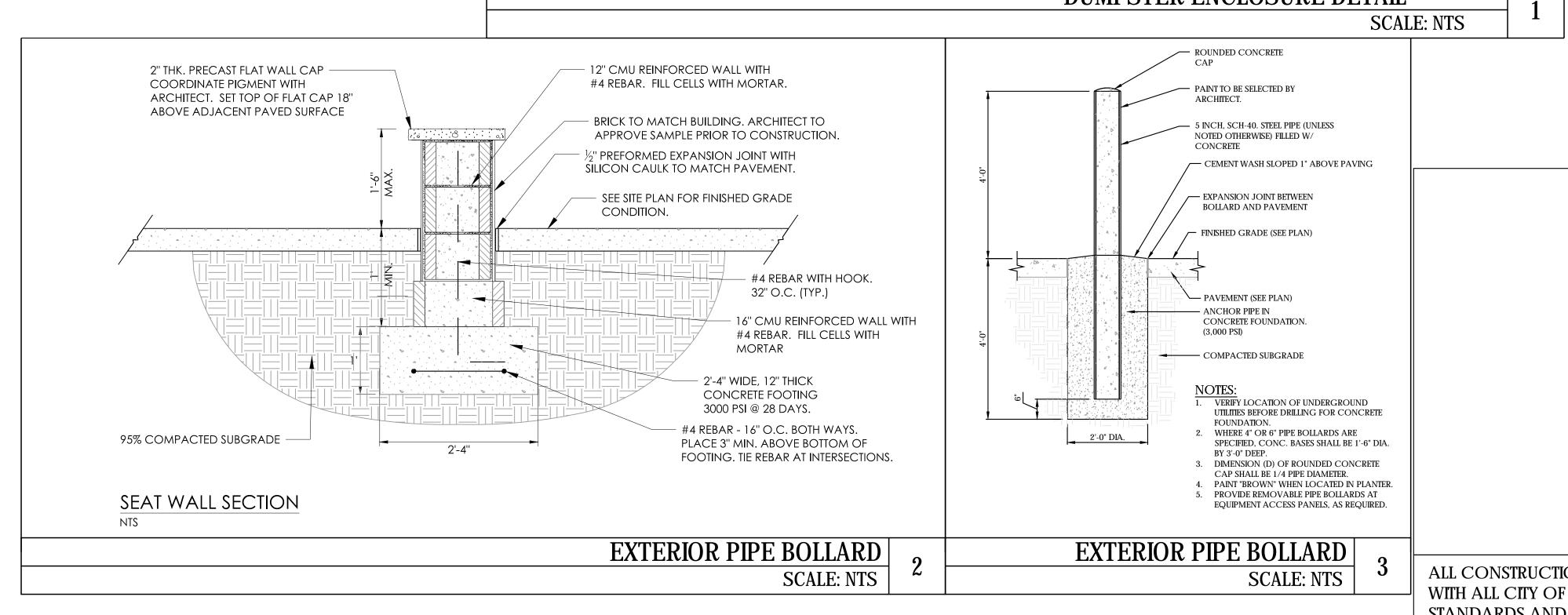
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Description

PERMIT SET

SITE DETAILS



DB:005321 PG:002498 DB:006462 PG:002335 10' FRONT SETBACK ZONE: UMX LAND USE: MEDICAL LAB 刀 12" EXISTING SANITARY SEWER MAIN 30" SD & 4" SS CROSSING 30" SD CROWN: 17.85" VERT. SEPERATION: 24.00" SEWER SERVICE CONNECTION, 34.88 LF OF 4" SCH. 40 SEE DETAIL S-9 PVC @ 2.00% SLOPE PRIVATE CLEAN OUT RIM: 24.80' 2" DOMESTIC INV: 20.18' WATER SERVICE 2" RPZ BACKFLOW PREVENTER MODEL: FEBCO LF PUBLIC CLEAN OUT 860 LARGE RIM: 24.40' INV: 19.99' FIRE HYDRANT ASSEMBLY, SEE DETAIL W-9 8" EXISTING PUBLIC \_ 2" GATE VALVE Rim: 23.78' WATER MAIN Inv: 18.86' 12" PVC (N) 10' FRONT SETBACK -2" TAPPING SADDLE, SEE DETAIL W-3 DEED BOOK: 61129 Rim: 23.86' Inv: 18.53' 12" PVC (E) Inv: 17.55' 15" PVC (S) PID:R05418-005-001-000 LAND USE: RESIDENTIA

UTILITY PLAN

Scale: 1" = 30'

UTILITY NOTES

BEFORE YOU DIG, <u>STOP</u>. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. <u>II'S THE LAW</u>. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND BACKFLOW
- ANY UTILITY CONSTRUCTION SHALL CONFORM TO CFPUA STANDARDS & SPECIFICATIONS.
- CONTRACTOR TO CONTACT UTILITY COMPANIES TO RELOCATE ANY EXISTING UTILITY POLES OR DISTRIBUTION MAINS. ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT. RECOMMEND THAT CONTRACTOR INVESTIGATES ALL POTENTIALLY IMPACTED UTILITIES IMMEDIATELY UPON BEGINNING PROJECT, AND NOTIFIES IMPACTED UTILITY COMPANIES AS SOON AS IT IS DETERMINED THAT RELOCATIONS ARE REQUIRED.
- BACKFLOW PREVENTER PERMIT REQUIRED FOR PROJECT. BACKFLOW PREVENTER INSTALLER MUST CONTACT <u>CFPUA</u> CROSS-CONNECTION CONTROL, DEPARTMENT OF WATER MANAGEMENT AT 910-332-6558 TO OBTAIN PERMIT AND INSTALLATION REQUIREMENTS PRIOR TO INITIATING WORK.
- ALL FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS MUST BE PROVIDED WITH 5" DIAMETER STORZ CONNECTIONS.
- FIRE DEPARTMENT CONNECTIONS MUST BE ORIENTED 45° TOWARD GRADE
- PROVIDE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION DRAWINGS SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE HYDRANT(S) MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRANT(S).
- FIRE HYDRANTS SHALL BE NO MORE THAN 300' FROM A BUILDING OR HOUSE ALONG AN APPROVED APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE BUILDING OR HOUSE. (ENFORCED AT TIME OF BUILDING PLAN SUBMITTAL)
- FOR FIRE APPARATUS LOCATIONS, 150 FEET TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING FROM THE APPARATUS ROAD SURFACE, IS REQUIRED PER THE CURRENT NCFPC.
- APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT 80,000 LBS., WITH A POINT LOAD OF 75 PSI, AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, AS REQUIRED BY THE CURRENT NCFPC. DESIGN MUST BE SEALED BY AN ENGINEER SHOWING CALCULATIONS AND ROAD CONSTRUCTION DETAILS.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE CURRENT NCFPC. THIS IS REQUIRED SO THAT VERIFICATION OF THE MINIMUM FIRE FLOW DOES EXIST FROM THE EXISTING/NEW HYDRANTS FOR THE NEW BUILDING TO SUPPLY THE FIREFIGHTING EFFORTS.
- LANDSCAPING AND HARDSCAPING LAYOUT MUST BE ARRANGED TO ALLOW CLEAR VISIBILITY OF ALL FIRE EQUIPMENT UPON APPROACH, WITH READY ACCESS PROVIDED THERETO.
- ABOVE-GROUND UTILITIES TO BE SCREENED.
- A UTILITY MAINLINE CONSTRUCTION PERMIT IS REQUIRED PRIOR TO INSTALLATION OF EACH UTILITY. ALL UTILITIES SHALL SUBMIT PLAN DRAWINGS AND APPLICATIONS TO THE CITY ENGINEERING DIVISION.
- SANITARY SEWER SERVICES SHALL BE 1.0% MINIMUM SLOPE.

#### CITY OF WILMINGTON NOTES

- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
- FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL ALWAYS BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL MULTI-STORY COMMERCIAL BUILDINGS AND ALL SINGLE-STORY COMMERCIAL BUILDINGS EXCEEDING 7,500 SQ/FT THAT DEMONSTATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIRMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
- FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPUA STANDARDS
- WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.



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**GREENFIELD** 1423 GREENFIELD STREET, WILMINGTON, NC



NOVANT HEALTH

FAMILY MEDICAL

CLINIC -

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**UTILITY PLAN** 

PID:KU5414-U19-UU4-UUU DB:005321 PG:002498 ZONE: CS COASTAL MINI STORAGE OF LAND USE: COMMERCIAL CAPE FEAR LLC PID:R05414-019-002-000 DB:006462 PG:002335 ZONE: CS LAND USE: COMMERCIAL -EG 27.80 ⊢EG 27.70 TC 27.78 BC 27.28 10' FRONT SETBACK TC 28.42 BC 27.92 - FG|27.63 ↑TW 26.33 BW 25.83 TC 27.34 BC 26.84 -EG 26.88 HOPE BAPTIST CHURCH FOR ALL NATIONS PID:R05414-020-001-000 DB:4829 PG:325 ZONE: UMX LAND USE: CHURCH 1507 GREENFIELD LLC PID:R05415-012-001-000 DB:006242 PG:002642 TC 25.87 ZONE: UMX LAND USE: MEDICAL LAB FG 23.44 RE FG 23.1/5 FG 23.00 \_EG 24.68 EG 24.65 TC 23.90 BC 23.40 FG 25.00 -∽ FG 24.73 - FG 24.78 ⊢EG 24.01 FG 24.78 -FG 24.88 FFE: 25.00 TC 23.99 FG 24.88 FG 25.00 - FG 24.90 TC 24.83 -FG 24.87 FG 24.75 -- FG 24.97 FG 24.86 FG 24.39 FG 24.29 10' FRONT SETBACK — FG 25.86 WILMINGTON HOUSING AUTHORITY PID:R05418-005-001-000 DB:006137 PG:001528 ZONE: MD-17 LAND USE: RESIDENTIAL

GRADING PLAN

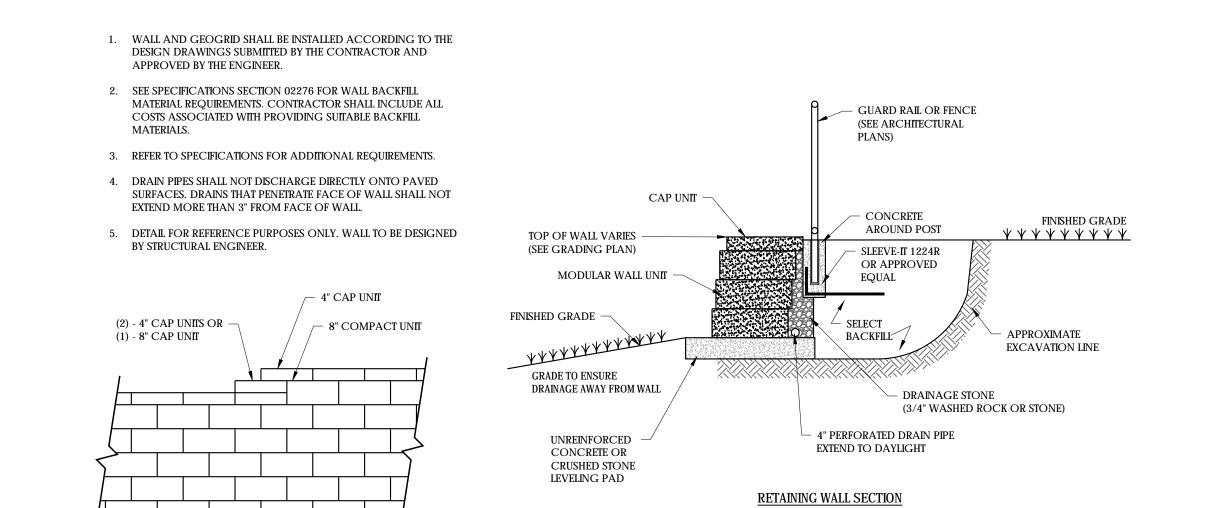
Scale: 1'' = 30'

GRADING NOTES

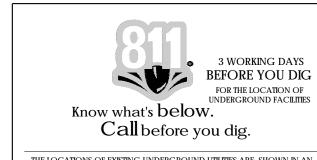
CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.

- 2. THE CONTRACTOR SHALL HIRE AN INDEPENDENT GEOTECHNICAL ENGINEER, LICENSED IN NORTH CAROLINA, TO PROVIDE THE FOLLOWING SERVICES (CRITICAL GEOTECHNICAL ENGINEERING ITEMS OF CONSTRUCTION MONITORING THAT REQUIRE SPECIAL INSPECTION):
- EXAMINATION OF FOUNDATION SUBGRADE CONDITIONS
- SUPERVISION OF SUBGRADE PREPARATION
- SUPERVISION OF EXCAVATION AND BACKFILL PLACEMENT AND COMPACTION
- SUPERVISION OF BEDDING, SUBGRADE AND BACKFILL CONSTRUCTION
  FILL AND PAYEMENT MATERIALS TESTING
- FILL AND PAVEMENT MATERIALS TESTING
  SUPERVISION OF PAVEMENT CONSTRUCTION
- ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF IN-PLACE MATERIALS.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE, WITH NO SHARP OR ABRUPT CHANGES.
- 7. ALL FILL TO BE COMPACTED TO 95% DRY DENSITY (STANDARD PROCTOR) UNDER PAVEMENT.
- 8. THE PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS. REFER TO SITE DETAILS TO ESTABLISH CORRECT SUB-BASE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL FLOW BY GRAVITY AWAY FROM BUILDING(S) AND ACROSS NEW PAVEMENT AND/OR LANDSCAPE AREAS TO NEW OR EXISTING STORM DRAIN INLETS, SWALES, DITCHES OR OVERLAND SHEET FLOW.
- 10. TURF SHALL BE ESTABLISHED IN ALL DISTURBED AREAS AND AREAS LEFT UNPAVED AND WITHOUT GRAVEL IN ACCORDANCE WITH THE SPECIFICATIONS AND LANDSCAPE PLANS.
- 11. ALL SLOPES DRAINING TO SCM SHALL BE STABILIZED PER THE NORTH CAROLINA STATE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
- 12. AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- 13. NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- 14. WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.

TOP OF WALL STEP ELEVATION



# TYPICAL RETAINING WALL SECTION - PRELIMINARY SCALE: NTS 7



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, ANI AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

# neighboring

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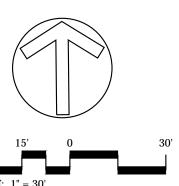
No.	Description	Date

PERMIT SET

GRADING PLAN

#### GRADING LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
EG=25.00	EXISTING GRADE SPOT ELEVATION
FG=25.00	PROPOSED FINISH GRADE SPOT ELEVATION
TC=25.00	TOP OF CURB SPOT ELEVATION
BC=25.00	BOTTOM OF CURB SPOT ELEVATION
TW=25.00	TOP OF WALL SPOT ELEVATION
BW=25.00	BOTTOM OF WALL SPOT ELEVATION
FFE=25.00	PROPOSED FINISH FLOOR ELEVATION



COASTAL MINI STORAGE OF DB:006462 PG:002335 NV: 25.78' 12" DUCTILE IRON (S) INV: 18.85' 42" CONC (W) INV: 20.80' 36" CONC (N) INV: 22.52' 8" PVC (S) INV: 23.89' 8" PVC (N INV: 22.70' 8" PVC (W) - 10' FRONT SETBACK INV: 18.18' 36" CONC (N) INV: 18.20' 36" CONC (S) RIM: 25.47' INV: 20.74' 12" PVC (N) WET POND, SEE SHEET CD400 STORMWATER **EASEMENT** ZONE: UMX LAND USE: MEDICAL LAB (SEE CD501, INV: 21.24' 12" CONC (E) MEDICAL OFFICE BUILDING 7,797 SQFT INV: 14.78' 36" CONC ( INV: 14.67' 36" CONC (1 Rim: 23.78' 10' FRONT SETBACK Rim: 23.86' Inv: 18.53' 12" PVC (E) Inv: 17.55' 15" PVC (S) PID:R05418-005-001-000 LAND USE: RESIDENT

STORM DRAINAGE PLAN

Scale: 1" = 30'

DB:005321 PG:002498

STORM DRAINAGE (SD) PIPE TABLE SIZE LENGTH SLOPE PIPE NAME MATERIAL SD-101 12" HDPE 77.3 LF 0.25% 0.50% SD-201 30" HDPE 46.7 LF HDPE Pipe 87.0 LF 0.50% SD-202 30" SD-203 30" **HDPE Pipe** 90.1 LF 0.50% **HDPE Pipe** SD-204 30" 82.1 LF 0.50% HDPE Pipe SD-205 16" 47.7 LF 1.05% SD-206 24" HDPE 48.6 LF 0.51%

STORM DRAINAGE (SD) STRUCTURE TABLE				
ID NO.	DETAILS			
101 DI	RIM = 24.00 INV OUT = 21.00 (SD P-101			
102 JB	RIM = 22.75 INV IN = 20.81 (SD P-101)			
201 JB	RIM = 24.42 INV IN = 14.90 (SD P-202) INV OUT = 14.90 (SD P-201			
202 JB	RIM = 25.50 INV IN = 15.34 (SD P-203) INV OUT = 15.34 (SD P-202			
203 JB	RIM = 23.95 INV IN = 15.79 (SD P-204) INV OUT = 15.79 (SD P-203			
204 JB	RIM = 23.32 INV IN = 17.00 (SD P-205) INV IN = 16.25 (SD P-206) INV OUT = 16.20 (SD P-204			
205 DI	RIM = 21.90 INV OUT = 17.50 (SD P-205			
206 JB	RIM = 22.00 INV OUT = 16.50 (SD P-206			

#### STORMWATER NOTES

- 1. AT A MINIMUM, THE STORMWATER DESIGN DETAILS FOR THIS PROJECT SHALL BE GOVERNED BY THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE <u>CITY OF WILMINGTON COMPREHENSIVE STORMWATER ORDINANCE</u> DESIGN GUIDELINES, IN EFFECT THE DATE CONSTRUCTION DRAWINGS ARE FIRST RECEIVED FOR REVIEW BY THE <u>CITY OF WILMINGTON</u>.
- 2. FINAL DESIGN CALCULATIONS FOR THE STORMWATER CONTROL MEASURE(S) (SCM[S]) REQUIRE THE USE OF STORAGE INDICATION ROUTING METHODOLOGY SUCH AS TR-20 OR HEC-1 MODELS. FOR EACH SCM, AS APPLICABLE, STAGE-STORAGE RELATIONSHIP AND INFLOW AND OUTFLOW HYDROGRAPHS ARE REQUIRED. ALL TABULATED DATA INCLUDING CALCULATIONS SHOWING THE LIMITING DISCHARGE, WHETHER ORIFICE, WEIR, BARREL, OR OUTLET CONTROL, AS APPROPRIATE IS REQUIRED. HYDROCAD, HYDRAFLOW HYDROGRAPHS, AND PONDPACK ARE COMMONLY USED AND RECOGNIZED SOFTWARE PROGRAMS WHICH INCORPORATE ROUTING METHODOLOGY ACCEPTED BY THE CITY.
- STORMWATER CONTROL MEASURE(S) (SCM[S]) PERMIT FEE(S) AND EITHER A PAYMENT INTO THE STORMWATER REPLACEMENT FUND OR THE PROVISION OF AN ALTERNATE SECURITY ARE REQUIRED FOR ALL SCM(S) ASSOCIATED WITH THIS DEVELOPMENT. CONSTRUCTION OF THE DEVELOPMENT IS NOT ALLOWED TO COMMENCE UNTIL THESE ITEMS ARE PROVIDED IN ACCORDANCE WITH CITY STORMWATER STANDARDS OR IN ACCORDANCE WITH WRITTEN THE DESIGNER SHALL SUBMIT A SEALED ENGINEER'S CONSTRUCTION COST ESTIMATE FOR EVERY SCM PROPOSED IN THE DEVELOPMENT PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS IF A FINANCIAL GUARANTEE IN THE FORM OF PAYMENT INTO THE STORMWATER REPLACEMENT FUND IS UTILIZED.
- 4. AN AS-BUILT CERTIFICATION FOR THE STORMWATER CONTROL MEASURE(S) (SCM[S]), PROVIDED BY THE CERTIFYING ENGINEER OR LANDSCAPE ARCHITECT, IS REQUIRED. THE AS-BUILT CERTIFICATION SHALL BE SUBMITTED IN ACCORDANCE WITH <u>CITY OF WILMINGTON</u> SCM AS-BUILT PROGRAM, REFER TO SECTION 18-752 OF THE <u>CITY OF WILMINGTON CODE OF ORDINANCES</u>, AS-BUILT CERTIFICATION REQUIREMENTS FOR SCMS IN THE <u>CITY OF WILMINGTON</u> DESIGN GUIDELINES. THE SCM AS-BUILT CERTIFICATION(S) SHALL BE APPROVED BY THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO ISSUANCE OF ANY FINAL CERTIFICATES OF OCCUPANCY/COMPLIANCE FOR DEVELOPMENT.
- 5. STORMWATER CONTROL MEASURE(S) (SCM[S]) DESIGN CALCULATIONS WILL NOT BE REVIEWED OR APPROVED WITH THE SITE PLAN/PRELIMINARY PLAT SUBMITTAL. ALL SCM DESIGNS WILL BE REVIEWED AND APPROVED DURING THE CONSTRUCTION DRAWING SUBMITTAL PROCESS. IF, AT THE TIME OF CONSTRUCTION DRAWING SUBMITTAL, IT IS FOUND THAT THE PROPOSED SCM(S) IS UNDERSIZED, NOT PROPERLY ACCESSIBLE, OR OTHERWISE INSUFFICIENT OR UNSUITABLE FOR THE SITE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO INSURE THAT THE APPLICABLE STORMWATER ORDINANCE REQUIREMENTS ARE MET. A REVISED SITE PLAN OR PRELIMINARY PLAT MAY BE REQUIRED IF THE ORIGINALLY PROPOSED SCM(S) ARE FOUND INSUFFICIENT, NOT PROPERLY ACCESSIBLE, OR UNSUITABLE AND ALTERNATIVE SCM(S) WITH ASSOCIATED EASEMENTS ARE REQUIRED.
- 6. THE DEVELOPER/CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO COMMENCING WORK ON ANY STORMWATER CONTROL MEASURE (SCM). IF THE SCM WILL BE CONSTRUCTED INITIALLY AS A SEDIMENTATION AND EROSION CONTROL (S&EC) DEVICE, TO BE CONVERTED TO A PERMANENT SCM AT A LATER TIME, THE PRECONSTRUCTION MEETING SHOULD BE SCHEDULED PRIOR TO CONSTRUCTION OF THE S&EC DEVICE. CALL \_\_\_\_\_\_\_\_\_ TO SCHEDULE THE REQUIRED MEETING A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE DESIRED MEETING DATE. THIS IS IN ADDITION TO OTHER PRECONSTRUCTION MEETING REQUIREMENTS FOR EROSION CONTROL, ENGINEERING INSPECTIONS. ETC.
- 7. TO RECEIVE SITE PLAN/PRELIMINARY PLAT APPROVAL FOR DEVELOPMENTS OTHER THAN SINGLE FAMILY DETACHED, TOWNHOME AND DUPLEX RESIDENTIAL DEVELOPMENTS THAT ARE MAKING USE OF NUTRIENT BANKS OR NCEEP, THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT IS CONTINGENT UPON THE PURCHASE OF NUTRIENT CREDITS. IF A REVISED SITE PLAN/PRELIMINARY PLAT IS SUBMITTED FOR THIS DEVELOPMENT, THE REVISED SITE PLAN/PRELIMINARY PLAT WILL BE SUBJECT TO ANY ORDINANCES IN PLACE AT THE TIME OF THE REVISED SITE PLAN/PRELIMINARY PLAT SUBMISSION. PRIOR TO THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT, A LETTER/RECEIPT SHOWING THE PURCHASE OF THE NUTRIENT CREDITS FOR THIS DEVELOPMENT AND A COPY OF THE NUTRIENT BANK LEDGER IF APPLICABLE, SHOWING THE TOTAL NUTRIENT CREDITS AVAILABLE MINUS ANY AND ALL DEDUCTIONS, IS TO BE PROVIDED TO THE STORMWATER DEVELOPMENT REVIEW SECTION.
- 8. WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE.



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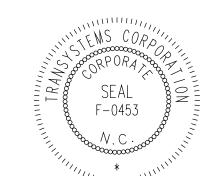
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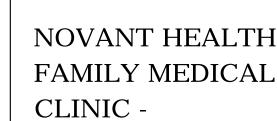
3 WORKING DAYS
BEFORE YOU DIG
FOR THE LOCATION OF
UNDERGROUND FACILITIES
Know what's below.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND

Call before you dig.

PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF
THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER
SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR
SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK,
OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

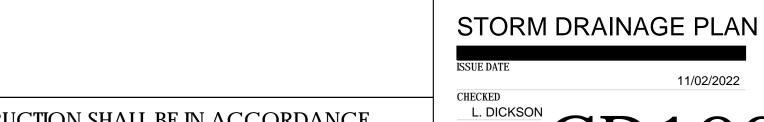


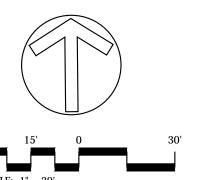
GREENFIELD

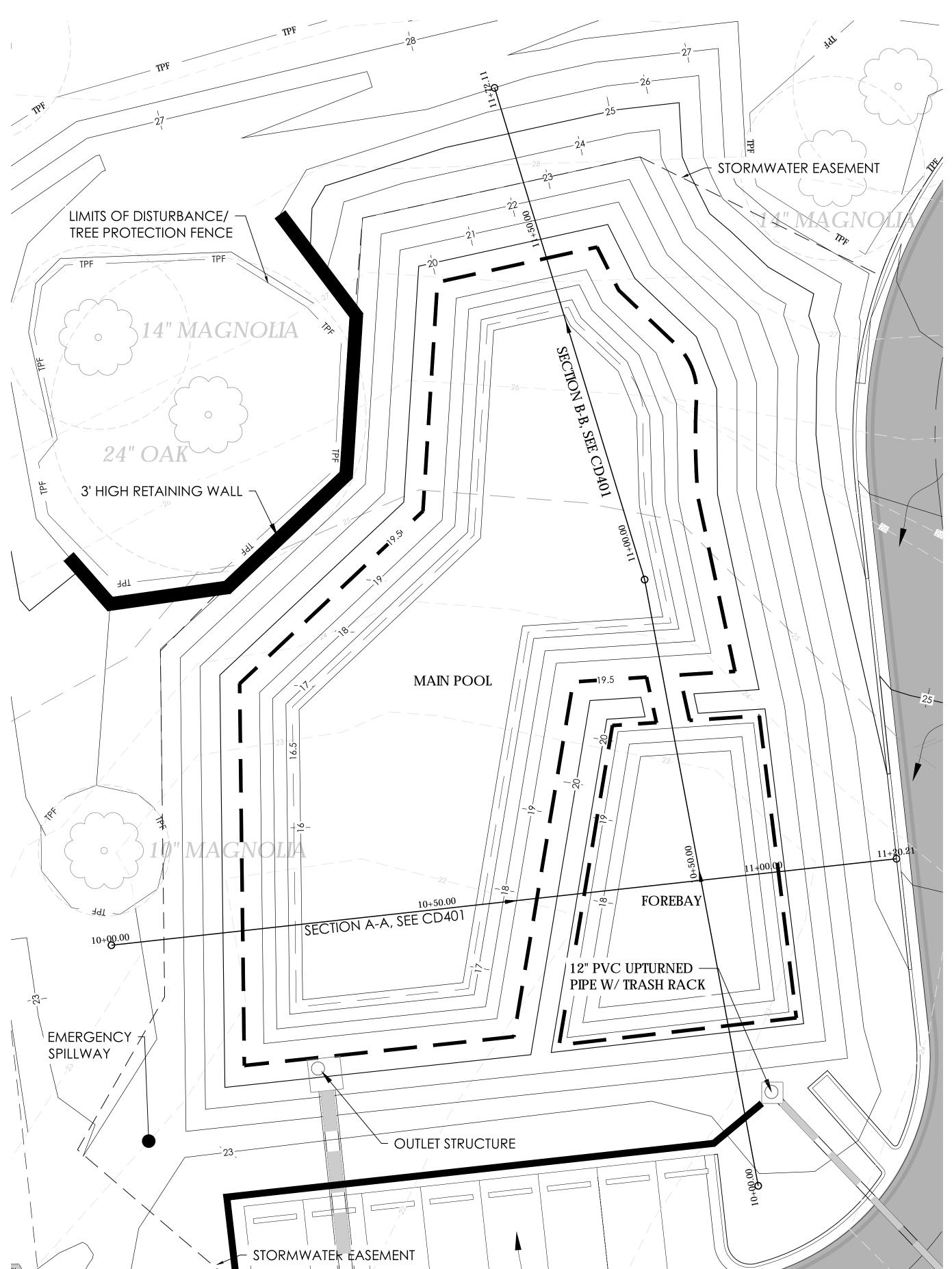
1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Dat

PERMIT SET







WET POND PLAN

#### HINGE ONE QUADREANT FOR MANWAY ACCESS (ALIGN WITH MANHOLE STEPS) - TRASH RACK (SEE DETAIL) 2" X 2" X $\frac{1}{4}$ " ALUMINUM ANGLES @ EACH CÖRNER ½" DIA. MTG HOLES (12 REQ'D) WITH 3 SST WEDGE ANCHORS $\frac{1}{2}$ " X $\frac{1}{2}$ " HORIZONTAL ALUMINUM BARS ARE NOT SHOWN FOR CLARITY CL OF HOLES TO BE 4" FROM OUTSIDE EDGE OF FRAME (4) 3" HIGH 36" WIDE WEIR ELEV. = 21.51 $\frac{1}{2}$ " X $\frac{1}{2}$ " ALUMINUM BARS SPACED /- 5" O.C. @ BASE FRAME (4 $\frac{1}{2}$ " SLIP RESISTANT MANHOLE STEP (SEE DETAIL SHEET CD500) <sup>1</sup> ALUMINUM PLATE FRAME 72" X 72" X 6" WIDE 5'X5' PRE-CAST RISER -STRUCTURE 2" X 2" X $\frac{1}{4}$ " ALUMINUM ANGLE @ EACH CORNER PLAN VIEW 3" SST "U" BOLT LIFT LUG 4" OUTLET TO ESTABLISH PERMANENT POOL 10" X 10" X ½" ALUMINUM TOP PLATE INV= 19.50' - WITH 3" U BOLT LIFT LUG $\frac{1}{2}$ " X $\frac{1}{2}$ " ALUMINUM BARS SPACED HORIZONTALLY AS SHOWN - DEWATERING ACCOMMODATES A METHOD/ORIFICE 60" X 60" LD. FOR BOTH A 4" AND 6" WALL 24" HDPE INV. = 16.50 60" I.D. SQUARE 4" 4" WALL SECTION 6" WALL SECTION SECTION VIEW 1. TRASH RACK DETAIL BASED ON POMONA PIPE PRODUCTS "STANDARD ALUMINUM BAR & ANGLE PEAKED ROOF −6" FLOOR

#### WET POND OUTLET CONTROL STRUCTURE

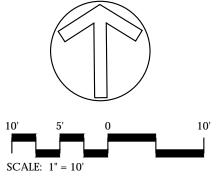
THICKNESS

#### STORMWATER CONTROL MEASURE (SCM) NOTES

- PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON AND THE STATE OF NORTH CAROLINA DIVISION OF WATER RESOURCES STORMWATER BMP MANUAL, STANDARDS AND SPECIFICATIONS.
- LANDSCAPING PLANTINGS SHOWN ON THE LANDSCAPE PLAN SHALL BE INSTALLED DURING FALL SEASON OR EARLY SPRING IF POSSIBLE FOR MAXIMUM PLANT SURVIVABILITY. CONTRACTOR TO ORDER PLANTS WELL IN ADVANCE OF PLANTING TO ENSURE AVAILABILITY / COORDINATION
- THE CONTRACTOR SHALL WARRANTY ALL PLANTED MATERIALS FOR A PERIOD OF 2 YEARS FROM DATE OF INSTALLATION. AT THE END OF THE FIRST YEAR AND AT THE END OF THE SECOND YEAR, THE CONTRACTOR SHALL REPLACE ALL PLANTS WHICH DID NOT SURVIVE. ANY HEALTHY PLANTS DAMAGED DURING PLANT REPLACEMENT SHALL ALSO BE REPLACED.
- SEE LANDSCAPE PLANS FOR SOD SPECIFICATIONS, AND SITE DRAINAGE SCHEDULES FOR ADDITIONAL STRUCTURE TOPS AND PIPE INVERT
- 6. PRINCIPAL SPILLWAY PIPE SHALL HAVE A MINIMUM PIPE STRENGTH CONFORMING TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) C-76, CLASS III STANDARDS.
- THE CONTRACTOR SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL EMBANKMENTS AND FILL PLACEMENT FOR PROPER COMPACTION. PROPER COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR THESE PLANS, WHICHEVER IS MORE STRINGENT. EMBANKMENTS FOR BMP'S SHALL BE PLACED IN 6 INCH LOOSE LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF THE OUTLET STRUCTURE AT ALL PHASES OF INSTALLATION AND SHALL RETAIN WITH GEOTECHNICAL TESTING DATA. THE CONTRACTOR SHALL ALSO RETAIN ALL SHIPPING RECORDS AND SPECIFICATIONS FOR THE OUTLET STRUCTURE MATERIALS AND STRUCTURES. ALL OF THE ABOVE DATA MAY BE REQUIRED AS PART OF THE MUNICIPALITY AS-BUILT PROCESS AND SHALL BE MADE AVAILABLE TO THE ENGINEER UPON REQUEST. THE CONTRACTOR AND OWNER SHALL HAVE DOCUMENTATION OF THESE TESTS
- TOLERANCES FOR FINAL GRADES SHALL BE WITHIN +/- 0.10 FEET. AN AS-BUILT SURVEY OF THE WET POND WILL BE REQUIRED, THEREFORE, STRICT ADHERENCE TO THE GRADING ON THIS PLAN AND THE TOLERANCES SPECIFIED HEREON SHALL BE REQUIRED PRIOR TO CERTIFICATION BY THE ENGINEER. UPON COMPLETION OF THE FINAL GRADING (PRIOR TO PLACEMENT OF ANY PLANT MATERIAL) THE CONTRACTOR SHALL CONTACT THE SURVEYOR TO SURVEY THE AS-BUILT WET POND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER THAT THE WET POND FACILITY HAS BEEN COMPLETED AND THE ENGINEER SHALL EVALUATE THE AS-BUILT SURVEY DATA FOR COMPLIANCE WITH THESE DRAWINGS. IF THE WET POND FACILITY IS FOUND TO BE OUT OF COMPLIANCE WITH THESE DRAWINGS, THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY TO BRING THE WET POND FACILITY INTO COMPLIANCE WITH THESE DRAWINGS. THE COST OF ANY ADDITIONAL SURVEYING FOR ENGINEERING EVALUATION REQUIRED RESULTING FROM INCOMPLETE OR INCORRECT GRADING OF THE WET POND FACILITY SHALL BE THE RESPONSIBILITY OF THE
- EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED AND INSPECTION APPROVED PRIOR TO BEGINNING GENERAL SITE WORK, INCLUDING GENERAL CLEARING, GRUBBING, AND GRADING.
- 10. BOTH FOREBAY AND EMERGENCY SPILLWAY SLOPES SHALL HAVE 18" THICK CLASS 'A' STONE.
- 11. BEGINNING OF FOREBAY SHOULD BE 4" DEEPER THAN END OF FOREBAY.

#### STORMWATER CONTROL MEASURE CONSTRUCTION SEQUENCE

- UNDER NO CIRCUMSTANCES SHALL THE WET POND BE FINALIZED AND PLANTED BEFORE THE COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL AREAS WHICH DRAIN TO IT. NOTIFY THE ENGINEER 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ON THE WET POND AND SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENGINEER TO REVIEW DETAILS OF THE CONSTRUCTION REQUIREMENTS.
- IF THE WET POND HAS BEEN PREVIOUSLY ROUGH GRADED, REMOVE AND DISPOSE OF SEDIMENT DEPOSITS WITHIN EXCAVATED BASIN.
- STRIP TOPSOIL AND DISPOSE OF OFFSITE, OR STOCKPILE FOR SUBSEQUENT SCREENING AND PLACEMENT ELSEWHERE ONSITE. ONSITE STOCKPILE SHALL BE ENCLOSED BY SILT FENCE.
- EXCAVATE AND ROUGH GRADE THE WET POND AREAS TO THE DESIGN DIMENSIONS. ALL FILL PLACEMENT SHALL BE IN COMPLIANCE WITH THE SPECIFICATION IN THE CONSTRUCTION NOTES ON THIS SHEET.
- INSTALL CLAY LINER AND ARMORED SECTIONS OF FOREBAY WEIRS.
- 6. INSTALL OUTLET STRUCTURE SYSTEM IN THE BOTTOM OF THE EXCAVATION AS SHOWN ON THE PLANS.
- PROVIDE LANDSCAPING IN COMPLIANCE WITH THE WET POND PLANTING PLAN. IF TIMING IS SUCH THAT PLANTINGS WOULD OCCUR IN SUMMER MONTHS, COORDINATE WITH THE ENGINEER AND NCDEQ REGARDING ALTERNATE PLANTINGS FOR MAXIMUM SURVIVABILITY OF PLANTS.
- STABILIZE THE SLOPES DRAINING TO THE WET POND AREA WITH GRASS SOD, OR SURROUND THE AREA WITH SILT FENCE TO PREVENT SEDIMENT FROM CONTAMINATING THE SOIL MIXTURE. SEED ALL ADDITIONAL DISTURBED AREAS PER THE SEEDING SCHEDULE SHOWN ON THE LANDSCAPE PLAN.
- CALL NCDEQ EROSION CONTROL INSPECTOR FOR APPROVAL OF EROSION CONTROL STABILIZATION.
- 10. AFTER COMPLETING ALL PLANTINGS AND SEEDINGS, FERTILIZE ENTIRE WET POND AS RECOMMENDED BY USDA SOIL TESTING RECOMMENDATIONS. FERTILIZING SHALL OCCUR ONLY DURING THE FIRST YEAR. THEREAFTER NO FERTILIZING
- 11. CONTRACTOR SHALL WATER NEW PLANT MATERIAL PLANTED IN THE WET POND DAILY UNTIL COMPLETION OF ALL OTHER SITE RELATED CONSTRUCTION HAS BEEN COMPLETED. AFTER THE FULL SCOPE OF THE CONTRACTOR'S WORK IS COMPLETED, IT SHALL BE THE OWNER'S RESPONSIBILITY TO WATER PLANTS DAILY UNTIL PLANTS HAVE BECOME WELL ESTABLISHED AND WATERING IS NO LONGER NECESSARY.
- 12. FILL POND AND MONITOR SURFACE ELEVATION FOR 48 HOURS. WATER SURFACE SHALL REMAIN WITHIN ONE INCH OF PERMANENT POOL ELEVATION. IF WATER LEVEL DROPS ONE INCH, NOTIFY ENGINEER AND INVESTIGATE OUTLET BARREL, OUTLET STRUCTURE, AND EMBANKMENT FOR LEAKS OR DEFECTS. MAKE REPAIRS IF REQUIRED AND FILL POND AND REPEAT WATER EVALUATION MONITORING. IF WATER LEVEL REMAINS WITHIN TOLERANCE, NOTIFY ENGINEER AND PERFORM DETAILS TOPOGRAPHIC SURVEY.
- 13. CONTACT CITY OF WILMINGTON STORMWATER ENGINEER TO OBTAIN FINAL BMP INSPECTION AND APPROVAL.



#### TRASH RACK WITH ONE QUADRANT HINGED FOR MANWAY ACCESS TO FIT 60" X 60" LD. CONCRETE RISER WITH 2. TRASH RACK TO BE POWDER-COATED BLACK

TRASHRACK 5'X5' RISER

NOT TO SCALE

6" OR 8" THICK WALLS"



ARCHITECTURE PLANNING INTERIORS

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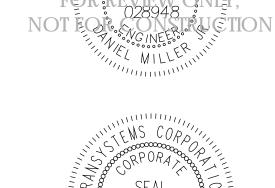
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GREENFIELD

3 WORKING DAYS

UNDERGROUND FACILITIES

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PRESERVE ANY AND ALL UNDERGROUND UTILITIES

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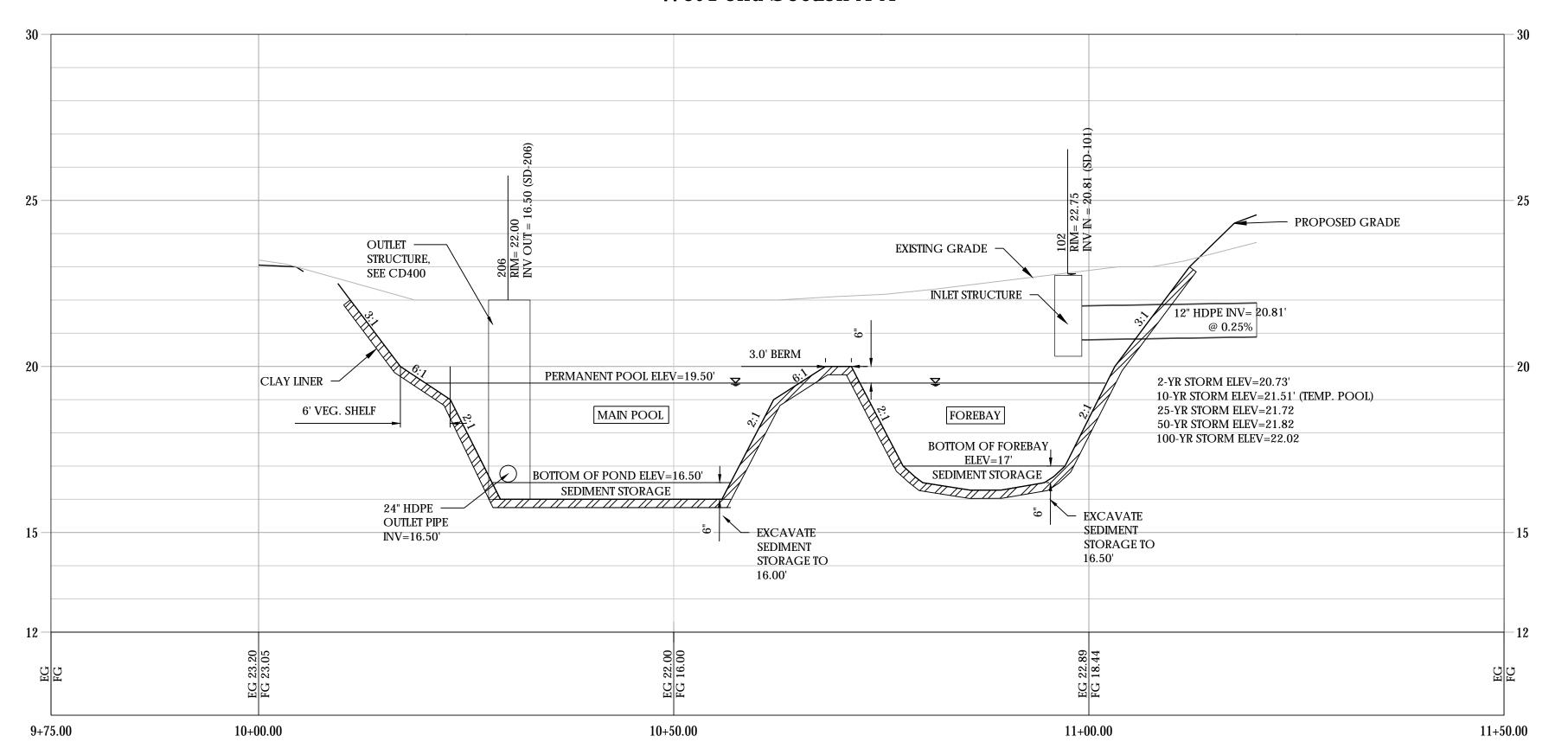
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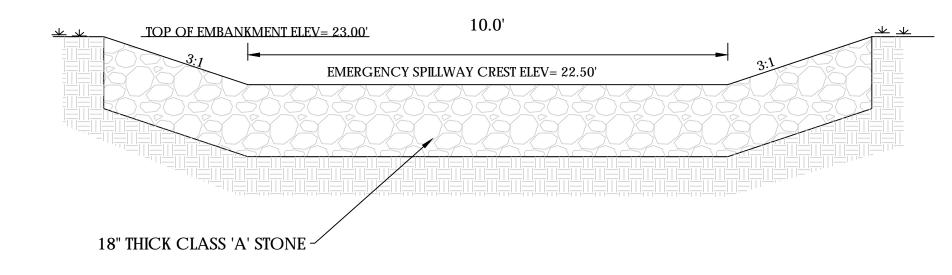
#### STORM DRAINAGE **ENLARGEMENT**

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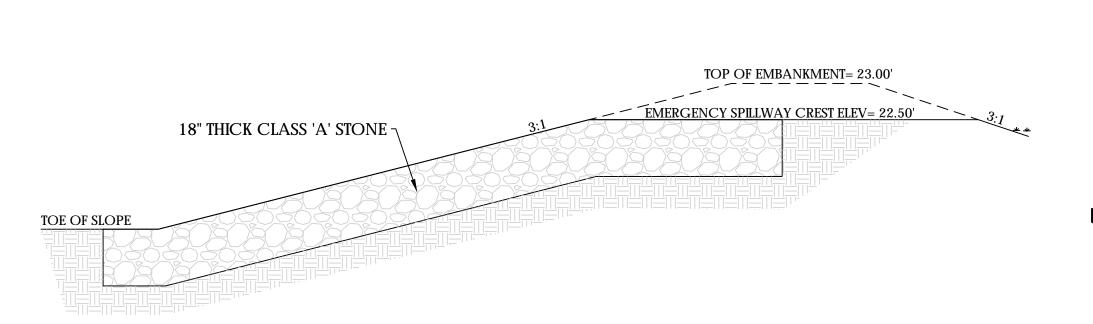
#### Wet Pond Section A-A



SCALE= 1:10



EMERGENCY SPILLWAY **SECTION** SCALE = 1:2



EMBANKMENT SECTION EMERGENCY SPILLWAY SECTION

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Charlotte, North Carolina 28216 T:704.374.0916 F:704.342.3808

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GREENFIELD

3 WORKING DAYS

FOR THE LOCATION OF UNDERGROUND FACILITIES

BEFORE YOU DIG

Know what's below.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE

WITH ALL CITY OF WILMINGTON AND NCDOT

STANDARDS AND SPECIFICATIONS

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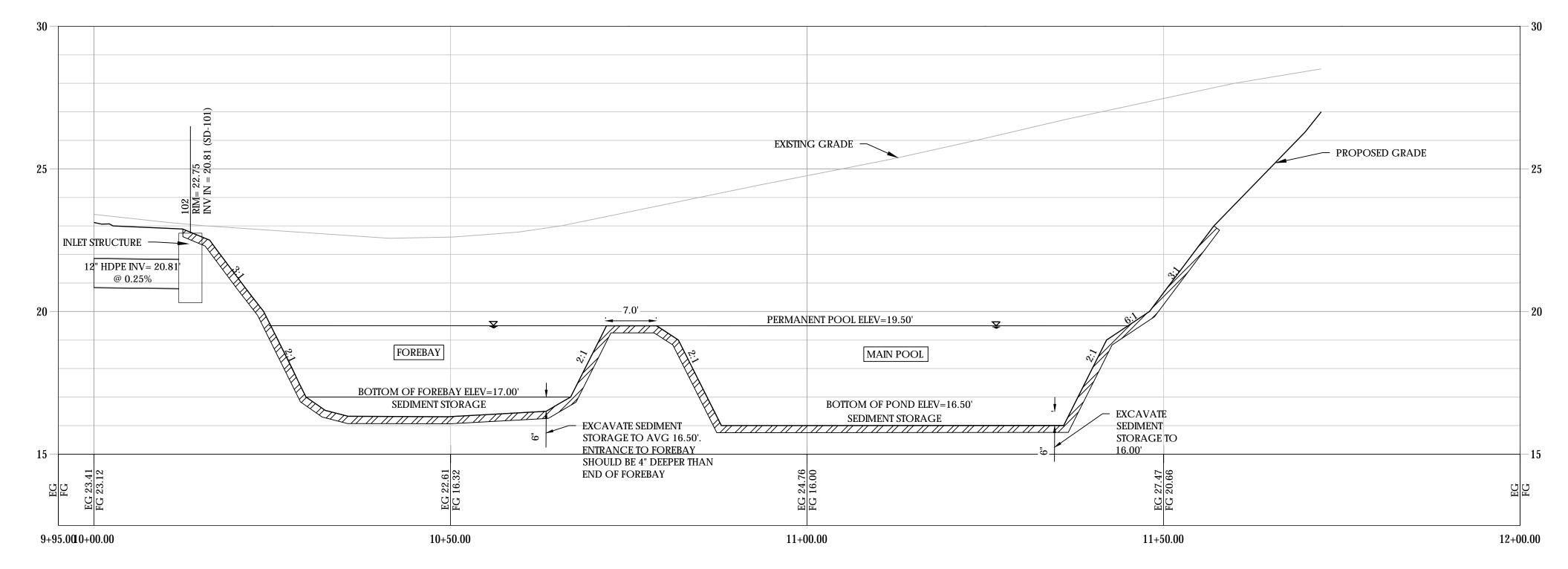
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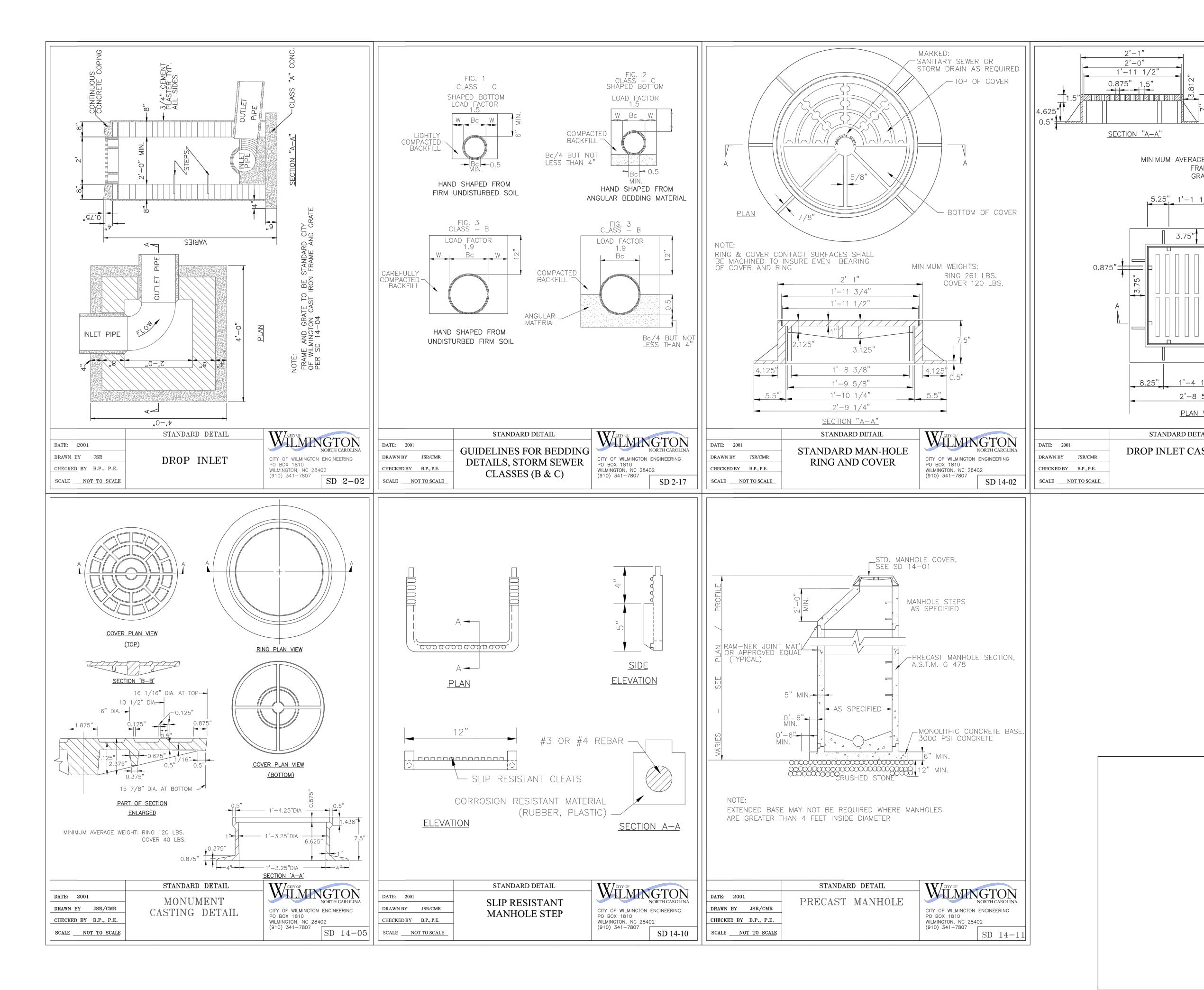
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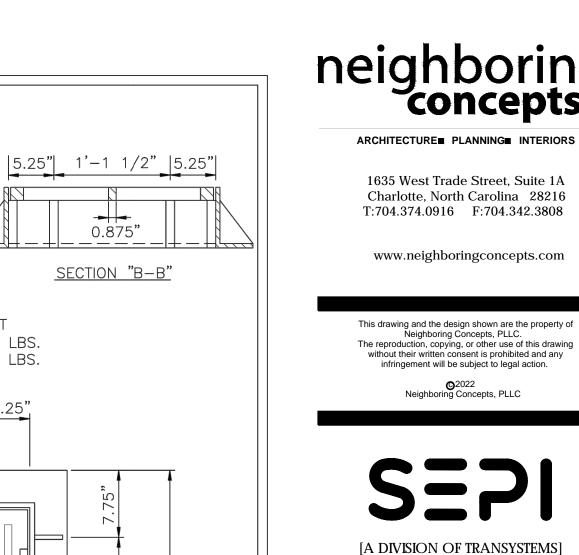
WET POND DETAIL

#### Wet Pond Section B-B



SCALE= 1:10





2'-0"

1'-11 1/

0.875" 1.5"

SECTION "A-A"

MINIMUM AVERAGE WEIGHT

5.25" 1'-1 1/2" 5.25"

FRAME 195 LBS.

GRATE 145 LBS.

В \_\_\_\_

WILMINGTON

CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807

SD 14-04

3 WORKING DAYS

FOR THE LOCATION OF

UNDERGROUND FACILITIES

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EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND

1'-4 1/8"

2'-8 5/8"

<u>PLAN VIEW</u>

STANDARD DETAIL

DROP INLET CASTINGS

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#### NOVANT HEALTH FAMILY MEDICAL CLINIC -

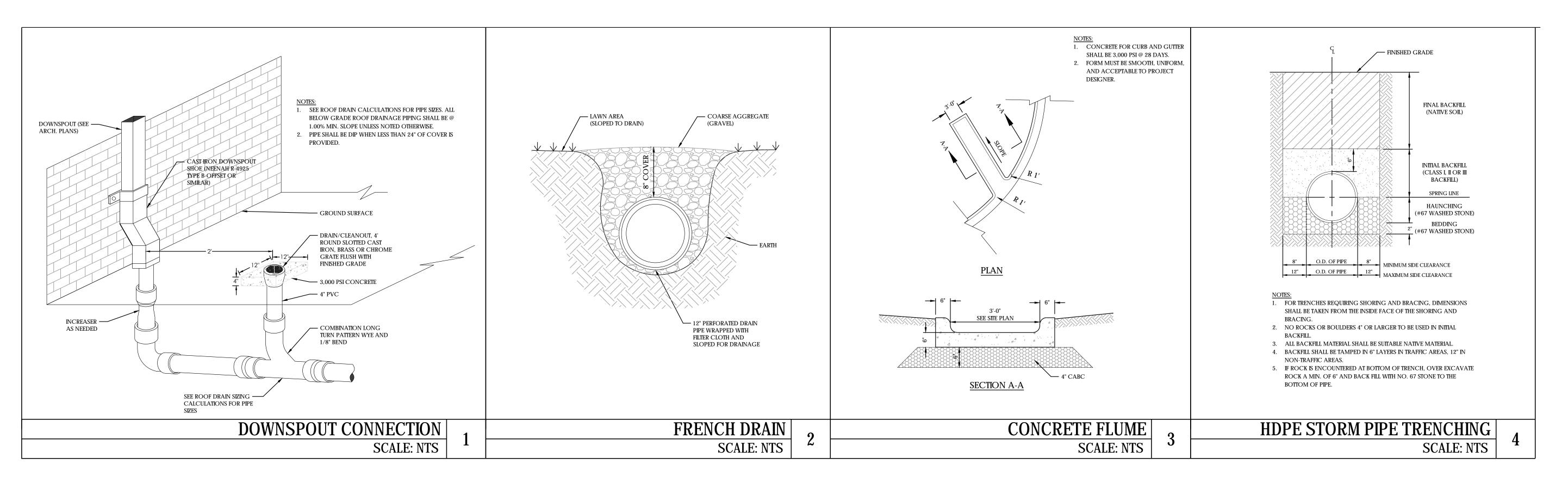
**GREENFIELD** 

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	Date

PERMIT SET

STORM DRAINAGE **DETAILS** 

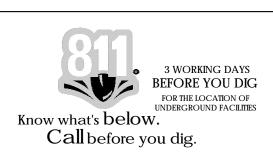


Roof Drain and Leader Calculations						
ROOF DRAIN PIPE LABEL	AREA INFLOW (SF)		REQUIRED PIPE SIZE (IN)	PROVIDED PIPE SIZE (IN)		
P1	2029	0	4	4		
P2	2029	4058	6	6		
Р3	2029	6087	8	8		
P4	2029	8116	8	8		
P5	0	8116	8	8		
P6	0	8116	8	8		

NOTE: Assumptions per NC Plumbing Code Table 1106.3

- 5 in/hr rainfall

- 4" round downspout from building



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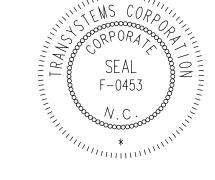
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GREENFIELD

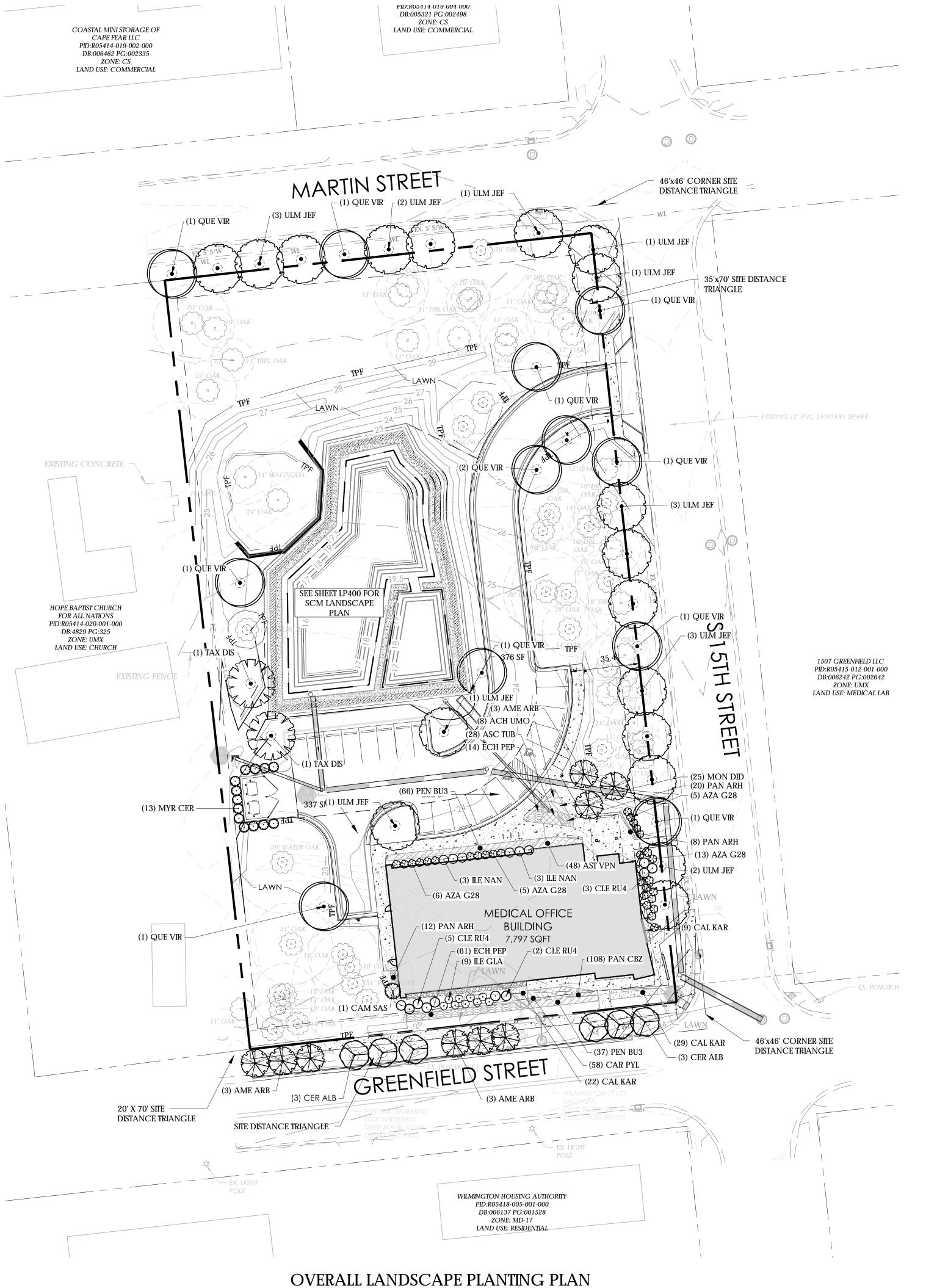
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STORM DRAINAGE DETAILS

ECKED
L. DICKSON
EET BY
ADRIATICO
OJECT NUMBER
21,025



Scale: 1" = 30'

PLANT SCH	HEDU	JLE- T	TREES						
DECIDUOUS TRE	EES	QTY	BOTANICAL / COMMON NAME		SIZE	CONTA	INER	REMARKS	
AME ARB		9	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY		2" CAL.	B&B		SINGLE STR	AIGHT LEADER
CER ALB		6	CERCIS CANADENSIS 'ALBA' / WHITE EASTERN REDBUD		2" CAL.	B&B			
TAX DIS	AX DIS 2 TAXODIUM DISTICHUM / BALD CYPRESS 3" CAL. B&B SINGLE STR				SINGLE STR	AIGHT LEADER			
ULM JEF 18 ULMUS AMERICANA 'JEFFERSON' / JEFFERSON AMERICAN ELM		ELM	3" CAL.	B&B	B&B SINGLE STRAIGH		AIGHT LEADER		
EVERGREEN TRE	EES	QTY	BOTANICAL / COMMON NAME		SIZE	CONTA	INER	REMARKS	
QUE VIR 12 QUERCUS VIRGINIANA / SOUTHERN LIVE OAK 3" CA				3" CAL.	B&B		SINGLE STR	AIGHT LEADER	
PLANT SCHEDULE- SHRUBS									
SHRUBS	QTY	BOTA	ANICAL / COMMON NAME	SIZE	CON	ITAINER	REMA	ARKS	

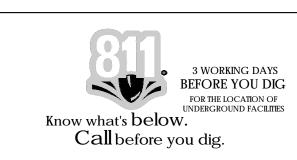
AZA G28	29	AZALEA X 'GIRARD'S ROSE' / GIRARD'S ROSE AZALEA	3 GAL.	POT	
CAM SAS	1	CAMELLIA SASANQUA / SASANQUA CAMELLIA	5 GAL.	POT	FULLY ROOTED
CLE RU4	10	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET	3 GAL.	POT	FULLY ROOTED
ILE GLA	9	ILEX GLABRA / INKBERRY HOLLY	3 GAL.	POT	FULLY ROOTED
ILE NAN	6	ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY	3 GAL.	POT	FULLY ROOTED
MYR CER	13	MYRICA CERIFERA / WAX MYRTLE	5 GAL.		MIN. HEIGHT 3'

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
ACH UMO	8	ACHILLEA X 'SASSY SUMMER LEMON' / SASSY SUMMER LEMON YARROW	4"	POT	24" o.c.
ASC TUB	28	ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED	4"	POT	18" o.c.
AST VPN	48	ASTILBE CHINENSIS 'VISION IN PINK' / VISION IN PINK CHINESE ASTILBE	4"	POT	18" o.c.
CAL KAR	60	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	POT	24" o.c.
CAR PYL	58	CAREX PENSYLVANICA / PENNSYLVANIA SEDGE	1 GAL.	POT	12" o.c.
ECH PEP	75	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER	1 GAL.	POT	24" o.c.
MON DID	25	MONARDA DIDYMA / BEE BALM	4"	POT	18" o.c.
PAN CBZ	108	PANICUM VIRGATUM 'CAPE BREEZE' / CAPE BREEZE SWITCH GRASS	1 GAL.	POT	12" o.c.
PAN ARH	40	PANICUM VIRGATUM 'PURPLE TEARS' / PURPLE TEARS SWITCH GRASS	4"	POT	18" o.c.
PEN BU3	103	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF FOUNTAIN GRASS	1 GAL.	POT	24" o.c.

STREETSCAPE LANDSCAPE DIMENSIONS (UDO 18-319)	REQUIRED	PROVIDED
PROJECT IS IN UMX ZONING DISTRICT AND IS	THEREFORE EXEMPT FROM STREETSCA	PE REQUIREMENTS
STREET TREES (UDO 18-204)	REQUIRED	PROVIDED
WITHIN UMX ZONING, 1 STREET TREE PER 30 L	F OF STREET FRONTAGE	
GREENFIELD STREET (219.7') OVERHEAD POWERLINES EXIST	219.7 / 30 = 8 CANOPY TREES OR 12 UNDERSTORY TREES	12 UNDERSTORY TREES PROVIDED
SOUTH 15TH STREET (396')	396 / 30 = 14 CANOPY TREES	14 CANOPY TREES
MARTIN STREET (219.4')	219.4 / 30 = 8 CANOPY TREES	8 CANOPY TREES
PARKING INTERIOR LANDSCAPING (UDO 18-321)	REQUIRED	PROVIDED
TREE ISLANDS	1 / 10 PARKING SPACES = 3	6
CANOPY SHADING PERCENTAGE	13%	27.66%
FOUNDATION PLANTINGS (18-490)	REQUIRED	PROVIDED
area of building face adjacent to parking multiplied by 12%	152' X 24' = 3,648 SF 3,648 SF X 12% = 437.8SF	618 SF

#### LANDSCAPE PLAN NOTES

WHERE APPLICABLE, TREE PROTECTION FENCE IS THE LIMITS OF DISTURBANCE REPRESENTED WITH LOD



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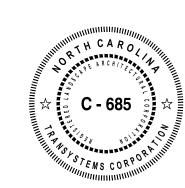
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#### NOVANT HEALTH FAMILY MEDICAL CLINIC -

GREENFIELD

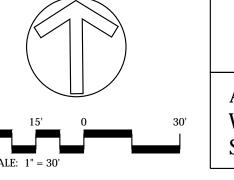
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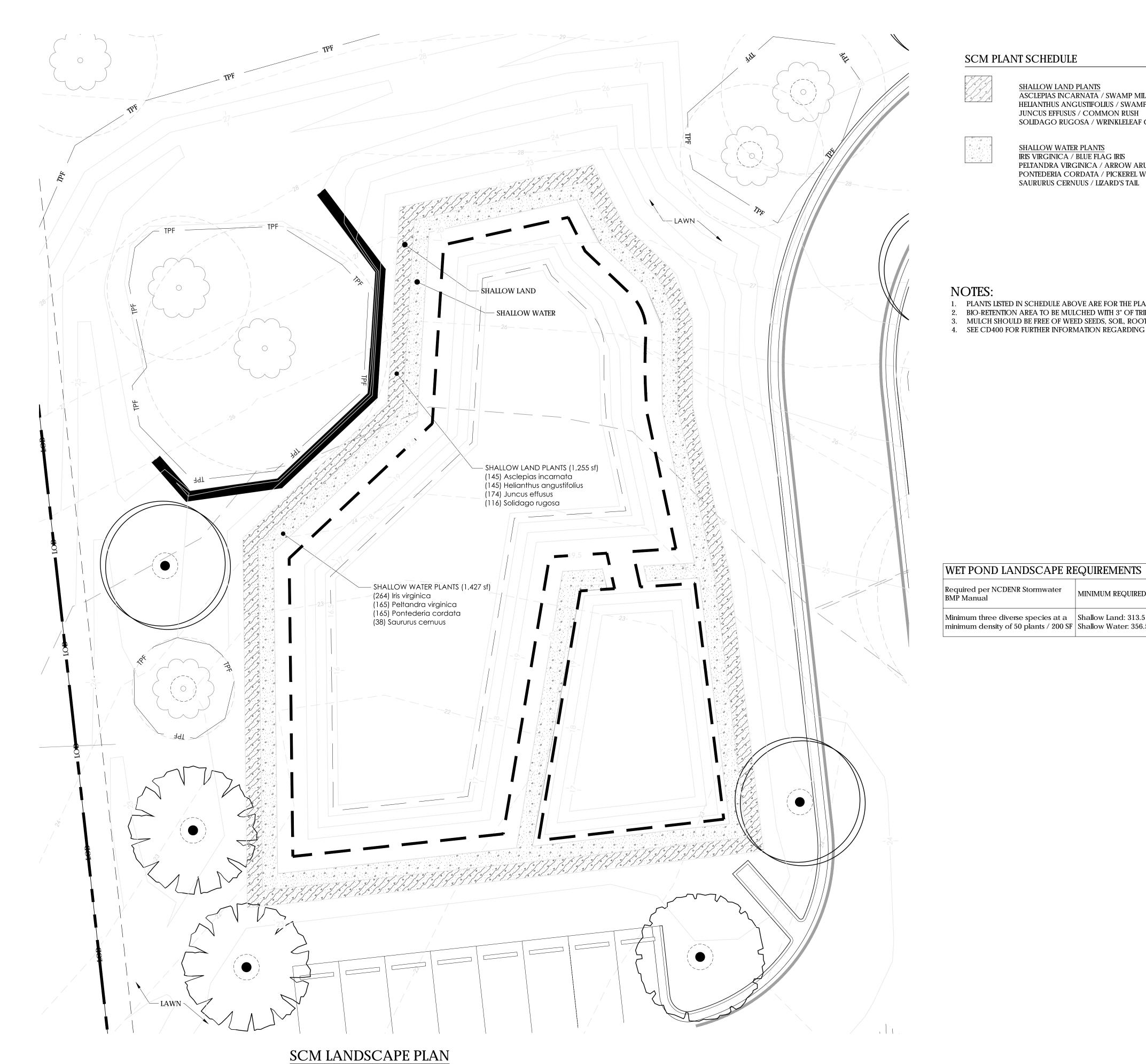
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LANDSCAPE PLAN

ISSUE DATE 11/02/2	201
CHECKED  L. DICKSON SHEET BY J. ADRIATICO  L. DICKSON J. ADRIATICO	
PROJECT NUMBER	•





Scale: 1" = 10'

SCM PLANT SCHEDULE

SHALLOW LAND PLANTS ASCLEPIAS INCARNATA / SWAMP MILKWEED HELIANTHUS ANGUSTIFOLIUS / SWAMP SUNFLOWER JUNCUS EFFUSUS / COMMON RUSH SOLIDAGO RUGOSA / WRINKLELEAF GOLDENROD	1,255 SF 145 145 174 116	4", POT 4", POT 4", POT 4", POT	25% @ 18" oc 25% @ 18" oc 30% @ 18" oc 20% @ 18" oc
 SHALLOW WATER PLANTS IRIS VIRGINICA / BLUE FLAG IRIS PELTANDRA VIRGINICA / ARROW ARUM PONTEDERIA CORDATA / PICKEREL WEED SAURURUS CERNUUS / LIZARD'S TAIL	1,427 SF 264 165 165 38	4", POT 4", POT 4", POT 4", POT	40% @ 18" oc 25% @ 18" oc 25% @ 18" oc 10% @ 24" oc

#### NOTES:

Required per NCDENR Stormwater

PROVIDED

Shallow Land: 580 plants

- 3. MULCH SHOULD BE FREE OF WEED SEEDS, SOIL, ROOTS, AND OTHER MATERIAL THAT IS NOT BOLE OR BRANCH WOOD OR BARK.
- 4. SEE CD400 FOR FURTHER INFORMATION REGARDING CONSTRUCTION OF SCM.

MINIMUM REQUIRED

minimum density of 50 plants / 200 SF | Shallow Water: 356.5 plants | Shallow Water: 632 plants

Minimum three diverse species at a Shallow Land: 313.5 plants

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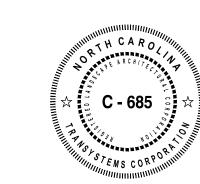
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NOVANT HEALTH FAMILY MEDICAL CLINIC -

GREENFIELD

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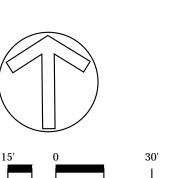
SCM LANDSCAPE PLAN

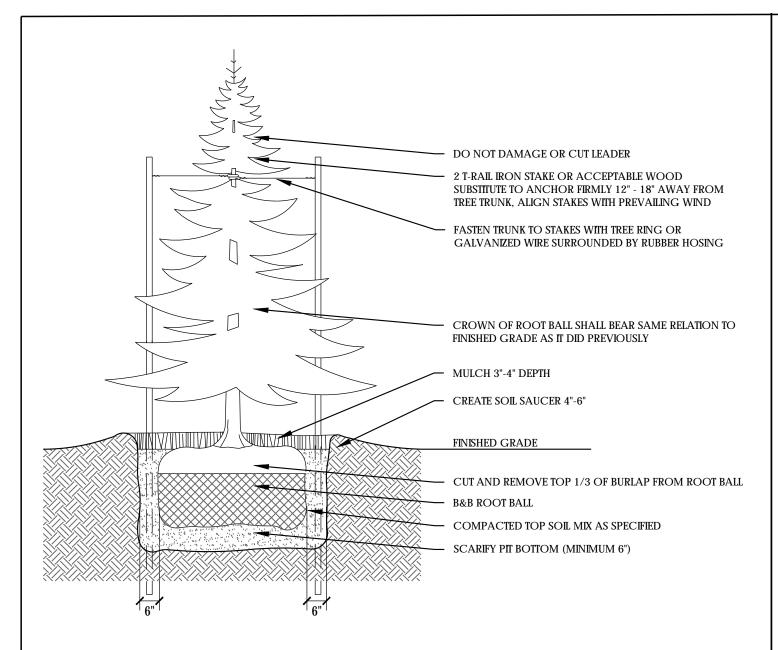
J. ADRIATICO PROJECT NUMBER

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#### NOTE

- 1. DO NOT DAMAGE ROOT BALL INSTALLING STAKES
- 2. WATER THOROUGHLY AFTER INSTALL
- 3. REMOVE TREE RINGS AND STAKES TWO YEARS OR AFTER ESTABLISHMENT IS CONFIRMED
- 4. PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE OR POORLY DRAINING SOIL

# DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP OR FLEXIBLE TUBING, ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER, PROWIDE TURN BUCKLE AND WARNING FLACS, REMOVE ALL STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2° ABOVE GRADE, AND NEVER BELOW GRADE REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE AT GRADE. THE SHALL BE SET PLUMB MULCH DEPTH 3°. KEEP MULCH 3° FROM ROOT FLARE AND DO NOT CONTACT STEM HIGH QUALITY SOIL MIX AS SPECIFIED WATER SAUCER SHALL BE NO MORE THAN 3° ABOVE GRADE COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

#### NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- 2. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- 3. PLANTING SEASON OCTOBER APRIL.

ROOTBALL DIAMETER

- 4. A TREE IMPACT PERMIT IS REQUIRED.
- 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

GROUNDCOVER PLANTING

SCALE: NTS

#### TREE PLANTING DETAIL TREE PLANTING DETAIL SCALE: NTS PLAN VIEW SPACING DIAGRAM PRUNE TO REMOVE DEAD OR BROKEN BRANCHES, PLANT SHOULD BE SPECIFIED SIZE AFTER PRUNING. MAINTAIN SOIL LEVEL AT OR SLIGHTLY HIGHER THAN EXISTING GRADE, TO ALLOW FOR SETTLEMENT PINE STRAW OR HARDWOOD MULCH AS SPECIFIED EDGE OF ADJACENT LAWN OR CONTACT WITH TRUNK. HARDSCAPE FORM CONTINUOUS 4" HIGH SAUCER TYPICAL SPACING "X" NOTED ON PLANS AS ON CENTER (OC) DIMENSION FINISHED GRADE ROOT MASS - REMOVE CONTAINER AND LOOSEN ROOTS SLOPE AWAY FROM BLDG. OF POTBOUND PLANTS BY SCORING OR PULLING. 2% OR GREATER SOIL MIX. SEE SPECIFICATIONS FOR DETAILS. WATER AND TAMP TO REMOVE AIR POCKETS. UNDISTURBED SOIL. IF SOIL HAS BEEN DISTURBED, TAMP SOIL AT 6" INTERVALS FOR FIRM BASE UNDER ROOT BALL. PROVIDE DRAINAGE AS NECESSARY PLANT SPACING PER PLAN - 3" MULCH INSTALLED BEFORE PLANTING - 6" SOIL MIX. SEE SPECIFICATIONS FOR DETAILS ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. INCORPORATE SOIL MIX INTO TOP 6" OF 2. REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS UNDISTURBED SOIL AT A 1:1 RATIO ATTACHED TO PLANT OR ROOT MASS. UNDISTURBED SOIL 3. SOIL BACKFILL MIXTURE TO BE 1 PART GROUND PINE BARK TO 6 PARTS TOPSOIL PER SPECIFICATIONS. 4. PLANT ROOTBALL IN A PIT THAT IS 24" WIDER THAN THE ROOT BALL IN CLAY SOIL AND 12" WIDER THAN THE ROOT BALL IN SANDY SOIL. 5. FOR PLANTING AREAS WHERE SOIL HAS BEEN COMPACTED BY EQUIPMENT, CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING. 1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. 6. SHRUBS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY DID AT THE NURSERY PRIOR TO DIGGING. 2. LOOSEN ROOTS OF POTBOUND PLANTS BY SCORING OR PULLING. 7. PLANT PITS ARE ONLY FOR INDIVIDUAL PLANTS. FOR MASS PLANTINGS, 3. REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR PREPARE THE ENTIRE PLANT BED AREA.

SHRUB PLANTING

SCALE: NTS

#### LANDSCAPE NOTES

SPECIFICATIONS.

- 1. LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- 2. VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- SHALL BE AS SHOWN ON THE PLAN.
  ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH
  BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE WRITTEN
- 4. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED. 3" OF DYED BROWN DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED AROUND ALL PLANTINGS.
- 5. APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- 7. DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS, (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN
- CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION 48 HOURS IN ADVANCE OF THE SCHEDULED SITE VISIT AND AT THE FOLLOWING INTERVALS:

TWO HOURS.) SEE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.

- 8.1. REVIEW OF GRADING PRIOR TO PLANT INSTALLATION
- 8.2. REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.8.3. ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION.
- 8.3. ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION.8.4. ONE FINAL INSPECTION FOR ALL PLANTING OPERATIONS.
- 9. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

#### **SEEDBED PREPARATION NOTES:**

- 1. CHISEL ALL CUT, GRADED, OR COMPACTED AREAS TO A MIN. DEPTH OF 8 INCHES.
- 2. DISC ALL AREAS TO RECEIVE GRASS TO A MIN. OF 8 INCHES. MIX AND
- AMEND WITH WELL SCREENED TOPSOIL.

  3. ON-SITE TOPSOIL MAY BE USED IN PLACE OF IMPORTED TOPSOIL, IF WELL-SCREENED AND DRY PRIOR TO APPLICATION IN ACCORDANCE
- WITH SPECIFICATIONS.

  4. REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS
- LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.

  5. APPLY AGRICULTURAL LIME, FERTILIZER, AND PHOSPHATE UNIFORMLY
- 5. APPLY AGRICULTURAL LIME, FERTILIZER, AND PHOSPHATE UNIFORMLY AS
- PER SPECIFICATIONS AND MIX WELL WITH SOIL.
  6. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY
- UNIFORM SEEDBED IS PREPARED TO A DEPTH OF 6 INCHES.

  7. SEED AT A RATE SPECIFIED OR AS NEEDED TO ACHIEVE AND MAINTAIN A THICK HEALTHY GROUND COVERAGE. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. BEGIN THOROUGH WATERING OF GRASSED AREAS IMMEDIATELY UPON INSTALLATION. DO NOT ALLOW
- 8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS AS NECESSARY.

SEEDED AREAS TO BECOME EXCESSIVELY DRY.

9. IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS PREVAIL.

- 10. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE
- REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

  11. LANDSCAPE SUB-CONTRACTOR (UNDER GC CONTRACT) SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AT HIS COST FROM HIS OWN WATER SOURCE INCLUDING DURING PERIODS OF DROUGHT UNTIL THE PLANTS AND LAWN MEET FINAL COMPLETION. PLANT MATERIALS WHICH PERISH SHALL BE RE-ESTABLISHED BY THE CONTRACTOR AT NO EXPENSE TO
- THE OWNER.

  12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM PLANTED AREAS. IF DAMAGE OCCURS, THROUGH NO FAULT OF THE OWNER, AREAS SHALL BE REGRADED AND REPAIRED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95% COVERAGE AT FINAL COMPLETION.
- 13. SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTANTIATED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
- 14. IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.
- 15. ALL FOUNDATION SHRUBS AND TREES TO BE PLANTED A MINIMUM OF 5-FT FROM BUILDING WALL. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
- 16. MULCH LINE SMOOTH CONTINUOUS CURVES. CLEAR OUT FIRST 5-FT FROM DEBRIS AND UNDERBRUSH (TYP) AT AREAS OF EXISTING VEGETATION TO REMAIN.
- 17. ALL TREES NOT WITHIN A PLANT BED TO BE TREATED WITH A 6-FT DIAMETER MULCH RING (TYP).

#### LIME & FERTILIZATION SCHEDULE

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY A MINIMUM 3 TONS/ACRE GROUND AGRICULTURAL LIMESTONE AND A MINIMUM 500 LB/ACRE 10-10-10 FERTILIZER, AS NEEDED TO ESTABLISH 95% COVERAGE (AS DETERMINED ON A PER SQUARE YARD BASIS) PRIOR TO SUBSTANTIAL COMPLETION. CONTRACTOR TO SUBMIT A COPY OF ALL SOIL REPORTS TO OWNER UPON RECEIPT.

# neighboring concepts

ARCHITECTURE PLANNING INTERIORS

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• 2022



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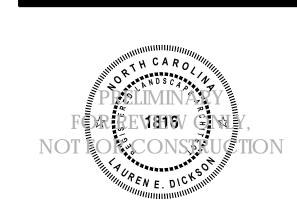
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1 GLENWOOD AVE. | SUITE 600 RALEIGH, NC 27603 PHONE | 919.789.9977

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# LANDSCAPE NOTES SCALE: NTS

SCALE: N15

3 WORKING DAYS
BEFORE YOU DIG
FOR THE LOCATION OF
UNDERGROUND FACILITIES
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF
THE <u>CONTRACTOR</u> NEITHER THE OWNER NOR THE ENGINEER
SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR
SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK,
OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOVANT HEALTH
FAMILY MEDICAL

CLINIC -GREENFIELD

1423 GREENFIELD STREET, WILMINGTON, NC

No.	Description	
NO.	Description	

PERMIT SET

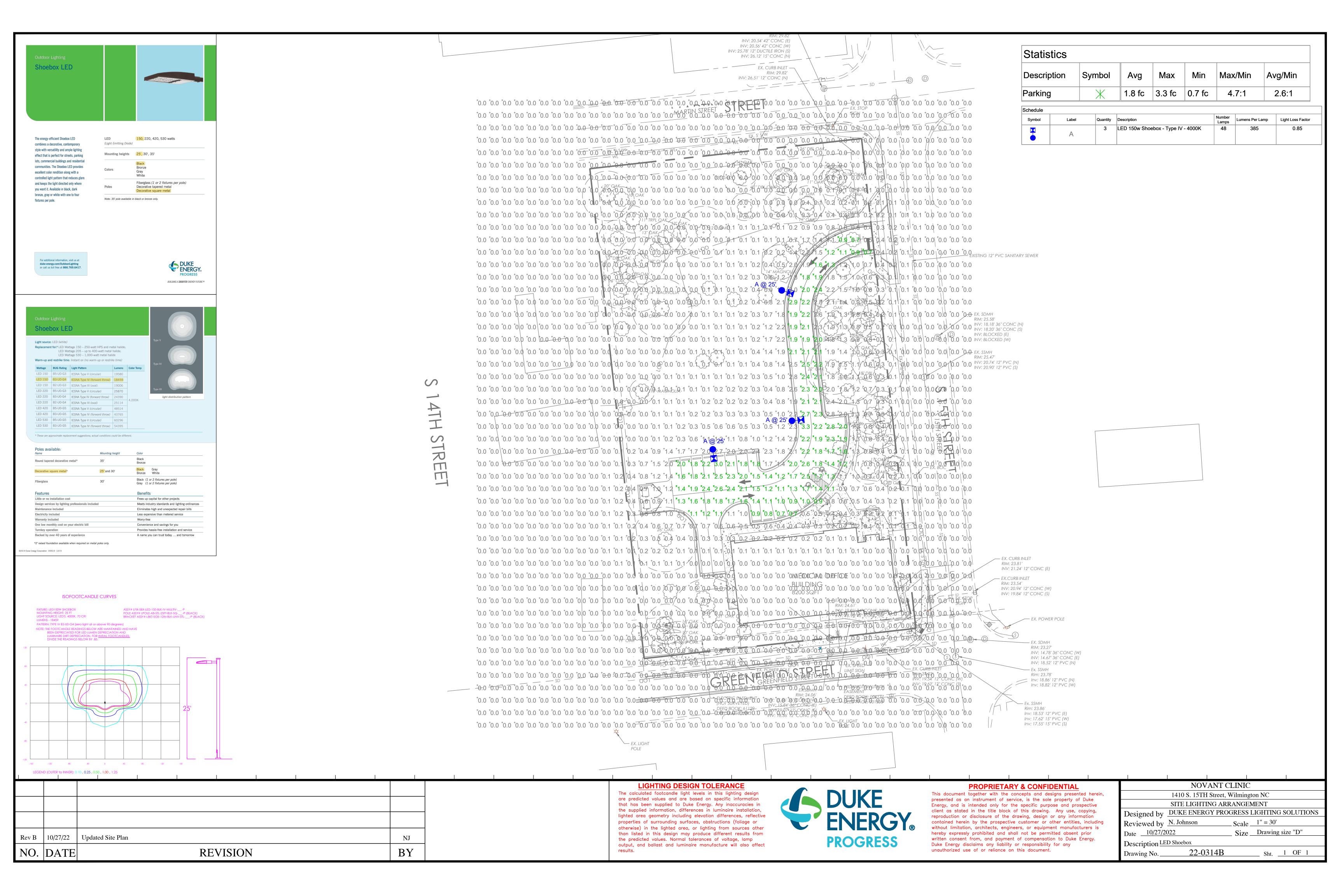
LANDSCAPE DETAILS

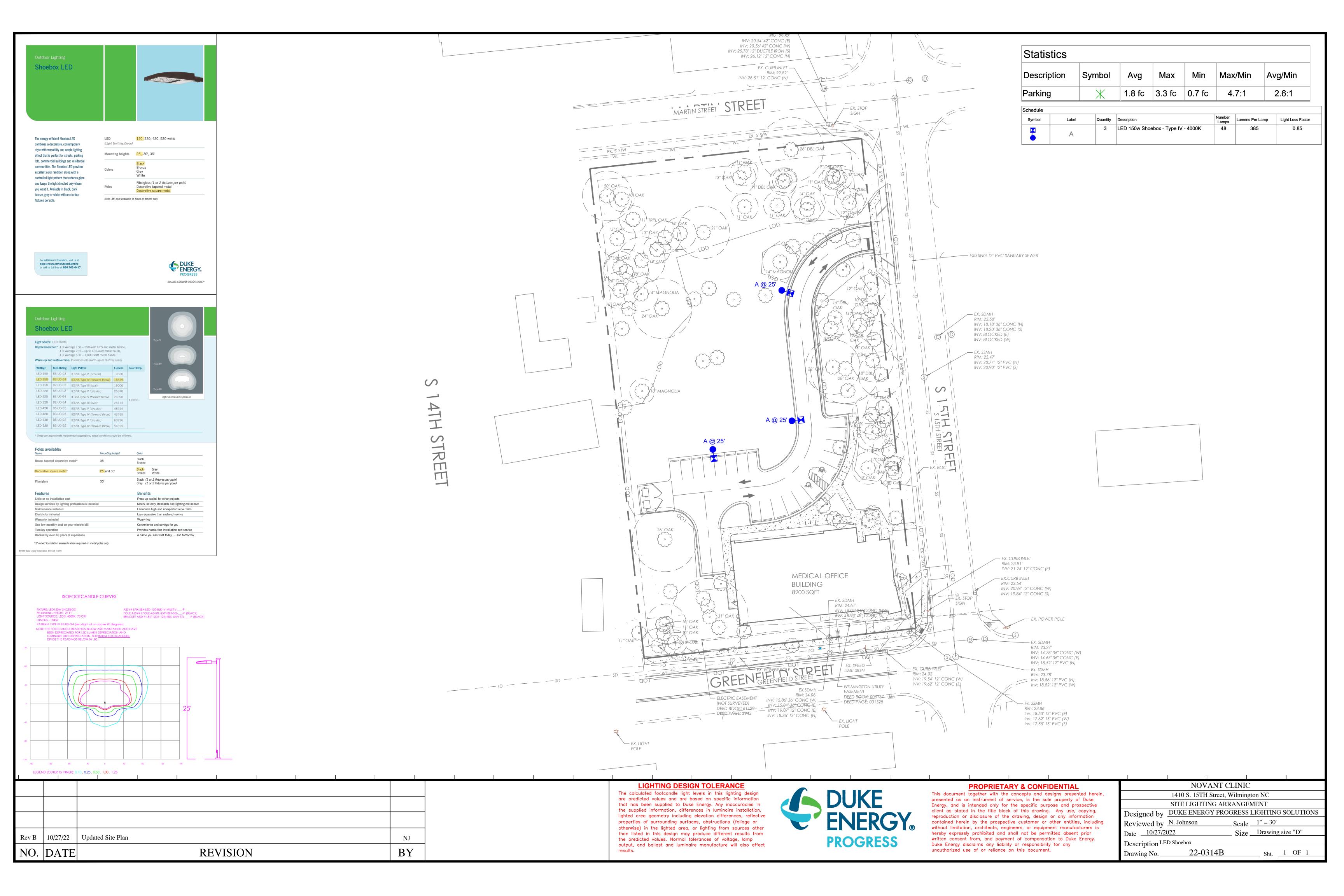
ISSUE DATE

CHECKED

L. DICKSON
SHEET BY
J. ADRIATICO
PROJECT NUMBER

LP50





SCALE: 3/16" = 1'-0"

#### **EAST ELEVATION** A201 SCALE: 3/16" = 1'-0"

R.E. = 1/A101

R.E. = 1/A101

#### EXTERIOR COLOR LEGEND

B1	WHITE NORMAN BRICK - TBD
PB1	BLACK 8" POLISHED MASONRY BLOCK TBD

WOOD GRAIN PHENOLIC SIDING - TBD

PAINT COLORS TO BE COORDINATED DURING CONSTRUCTION WITH ARCHITECT AND OWNER. COLORS TO BE SIMILAR TO WHAT WAS APPROVED BY NCHFA.

### EXTERIOR SYMBOL LEGEND

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

INFORMATION)

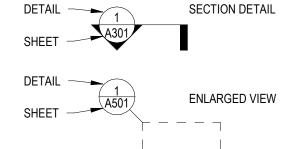
DOOR TAG

WINDOW TAG (REFER TO A602 FOR WINDOW SIZES AND

DOWNSPOUT LOCATION

CONTROL JOINT CJ LOCATION

CENTER LINE



LEVEL MARKER Elevation

E1-A0 + EXTERIOR ASSEMBLY TYPE. SEE A030 FOR ASSEMBLY TYPES P1 — EXTERIOR FINISH COLOR. SEE COLOR LEGEND

SPOT ELEVATION

MARKERS

#### **ELEVATION NOTES**

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED (ONE SIDE ONLY). PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY FIRE MARSHALL. ADDRESS NUMBERS TO BE ILLUMINATED.
- FACE OF SLAB SHALL NOT BE EXPOSED AT SLOPED EXTERIOR PAVING CONDITIONS. COORDINATE EXT. PAVING CONDITIONS WITH CIVIL, TYP.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS FOR DOWNSPOUTS W/OUT TIE-INS.
- VERTICAL CONTROL JOINTS ARE ILLUSTRATED FOR REFERENCE PURPOSES IN BUILDING ELEVATIONS. CJ'S ARE RECOMMENDED WHERE TRANSITIONS IN BRICK HEIGHT OCCUR, AT THE CORNERS OF LARGE OPENINGS, ALL INSIDE CORNERS, WITHIN 10' OF OUTSIDE CORNERS AND A MAXIMUM OF 30' O.C. MASONRY CONTRACTOR TO PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- NO MASONRY CORE HOLES SHALL BE EXPOSED, TYP. CLOSURE (SOLID CORE) MASONRY SHALL BE USED WHERE CORE HOLES WOULD OTHERWISE BE EXPOSED TO ELEMENTS.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE UNLESS OTHERWISE NOTES, TYP.
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- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY SEGMENTS BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.

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10.28.2022

#### **NOVANT HEALTH FAMILY MEDICAL CLINIC** -**GREENFIELD**

1423 GREENFIELD STREET,

WILMINGTON, NC 28401

No.	Description	Date

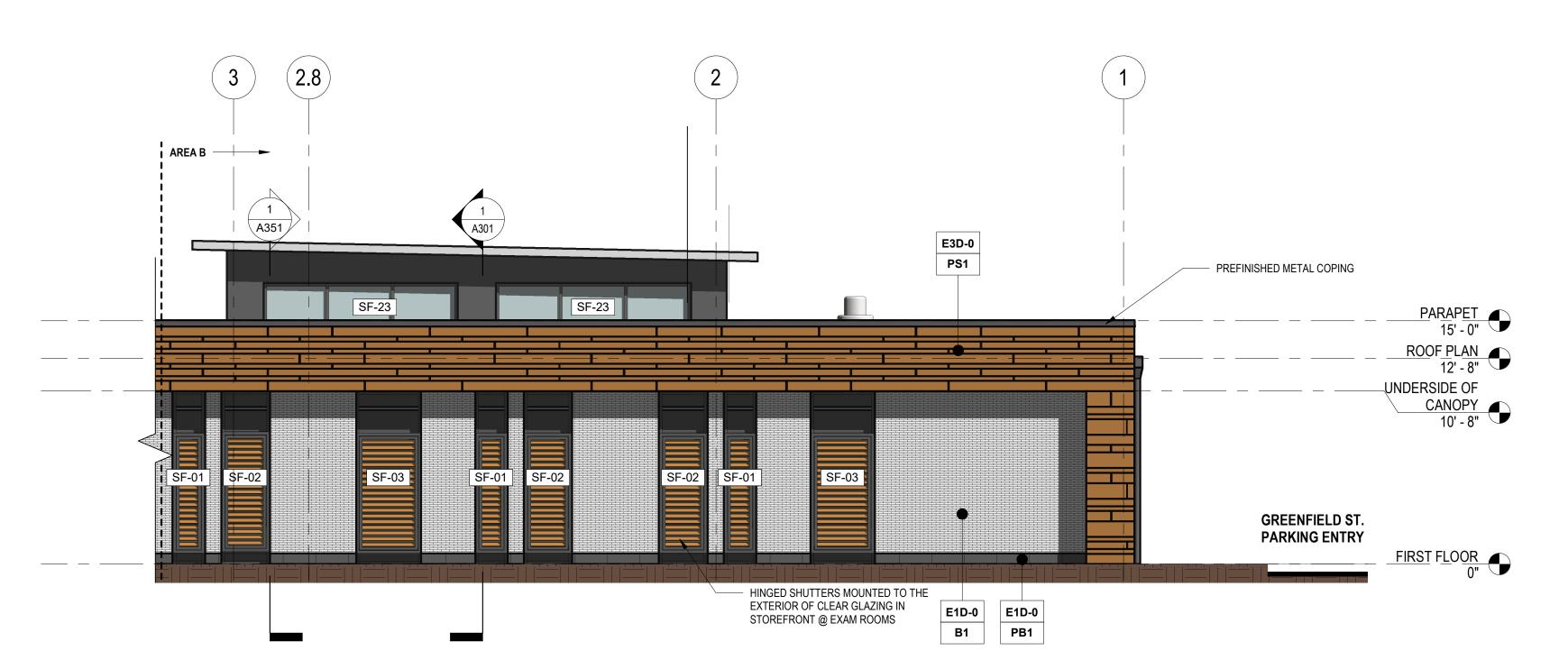
100% CONSTRUCTION **DOCUMENTS** 

**EXTERIOR ELEVATIONS** 

10/28/2022 CHECKED

#### **NORTH ELEVATION A**

SCALE: 3/16" = 1'-0" R.E. = 1/A101



NORTH ELEVATION B A202 SCALE: 3/16" = 1'-0"

R.E. = 1/A101

#### EXTERIOR COLOR LEGEND

B1	WHITE NORMAN BRICK - TBD
PB1	BLACK 8" POLISHED MASONRY BLOC TBD
PS1	WOOD GRAIN PHENOLIC SIDING - TB

PAINT COLORS TO BE COORDINATED DURING CONSTRUCTION WITH ARCHITECT AND OWNER. COLORS TO BE SIMILAR TO WHAT WAS APPROVED BY NCHFA.

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#### EXTERIOR SYMBOL LEGEND

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

DOOR TAG

WINDOW TAG (REFER TO A602 FOR WINDOW SIZES AND INFORMATION)

DOWNSPOUT LOCATION

CONTROL JOINT LOCATION

SECTION DETAIL **ENLARGED VIEW** 

CENTER LINE

SPOT **ELEVATION** MARKERS Name Elevation

LEVEL MARKER

E1-A0 + EXTERIOR ASSEMBLY TYPE. SEE A030 FOR ASSEMBLY TYPES — EXTERIOR FINISH COLOR. SEE COLOR LEGEND

#### **ELEVATION NOTES**

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC NOTES

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#### **NOVANT HEALTH FAMILY MEDICAL** CLINIC -**GREENFIELD**

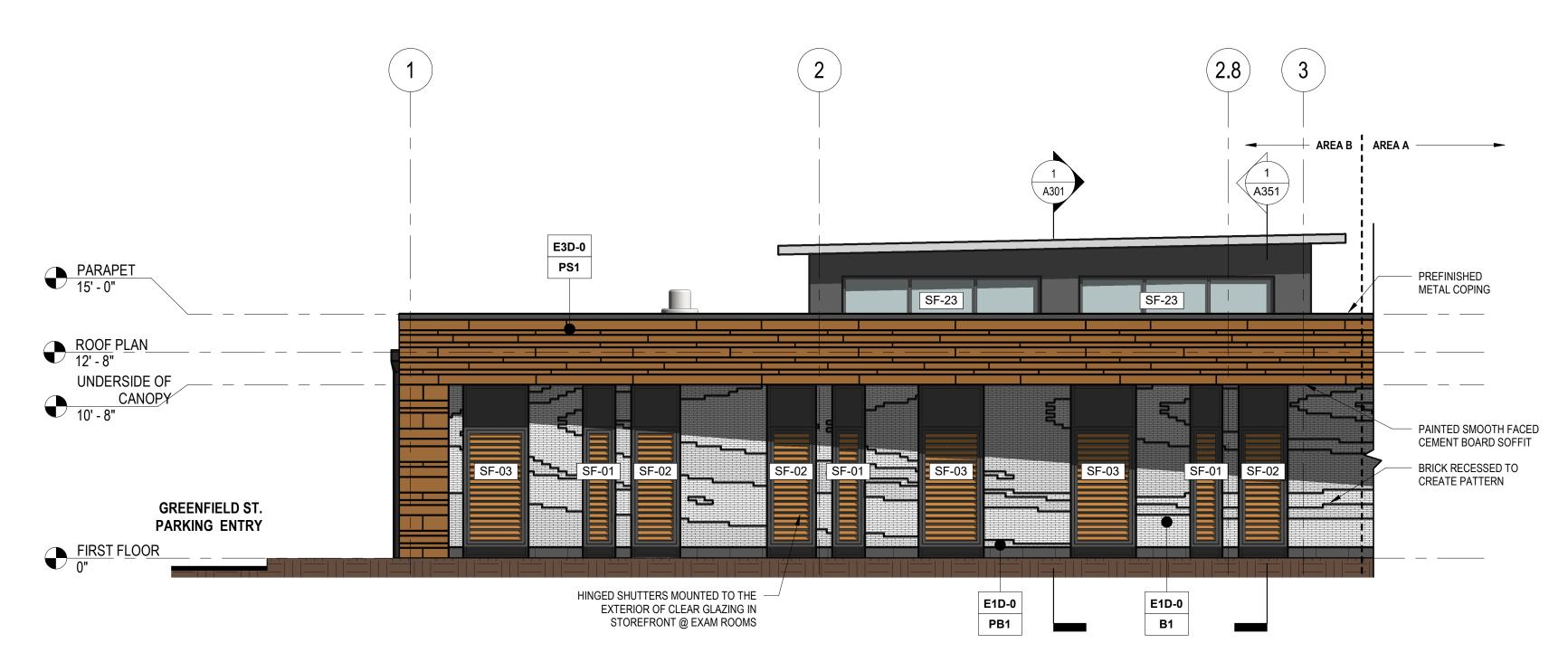
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No.	Description	Date
140.	Description	Date

100% CONSTRUCTION **DOCUMENTS** 

**EXTERIOR ELEVATIONS** 

10/28/2022 CHECKED



2 **SOUTH ELEVATION B**A203 SCALE: 3/16" = 1'-0"
R.E. = 1/A101

EXTERIOR COLOR LEGEND

B1 WHITE NORMAN BRICK - TBD

PB1 BLACK 8" POLISHED MASONRY BLOCK - TBD

PS1 WOOD GRAIN PHENOLIC SIDING - TBD

PAINT COLORS TO BE COORDINATED DURING CONSTRUCTION WITH ARCHITECT AND OWNER. COLORS TO BE SIMILAR TO WHAT WAS

APPROVED BY NCHFA.

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#### EXTERIOR SYMBOL LEGEND

DOOR TAG

WINDOW TAG

DOWNSPOUT

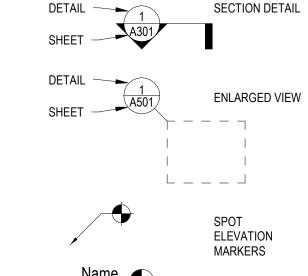
LOCATION

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

WINDOW TAG
(REFER TO A602 FOR
WINDOW SIZES AND
INFORMATION)

CJ CONTROL JOINT LOCATION

CENTER LINE



E1-A0 EXTERIOR ASSEMBLY TYPE. SEE A030 FOR ASSEMBLY TYPES

P1 EXTERIOR FINISH COLOR. SEE COLOR LEGEND

LEVEL MARKER

#### **ELEVATION NOTES**

Elevation

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- 3. COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS FOR DOWNSPOUTS W/OUT TIE-INS.

PAVING CONDITIONS WITH CIVIL, TYP.

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#### FAMILY MEDICAL CLINIC -GREENFIELD

**NOVANT HEALTH** 

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No.	Description	Date

100%
CONSTRUCTION
DOCUMENTS

EXTERIOR ELEVATIONS

ISSUE DATE	10/28/2022
CHECKED	
GB/FL	
SHEET BY	
AB	
PROJECT NUMBER	ALUL
21-025	







#### 3D SOUTHWEST CORNER A211 NOT TO SCALE



# 3 3D NORTHWEST CORNER A211 NOT TO SCALE



# 4 3D NORTHEAST CORNER A211 NOT TO SCALE



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#### **NOVANT HEALTH FAMILY MEDICAL** CLINIC -

**GREENFIELD** 

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No.	Description	D

#### 100% CONSTRUCTION **DOCUMENTS**

3D VIEWS

10/28/2022